

Planning  
Committee



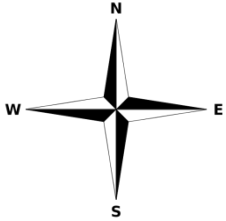
**GREATER CAMBRIDGE**  
SHARED PLANNING

# MAJOR APPLICATIONS

# 23/04686/FUL

## 12-34 Fanshawe Road

### Site Location Plan



	EXISTING TREE CAT A		UNSURVEYED EXISTING TREE
	EXISTING TREE CAT B		
	EXISTING TREE CAT C		



0 20 40 60 M

Fanshawe Road  
Fanshawe Road, Cambridge  
Cambridge Investment Partnership

Job no. 2105

dep. No. P\_000

Title Existing Location Plan

Status Planning

Scale 1:1250 @ A3

Date 14/07/2023

## Mole

Mole Architects  
Floor 2, 52 Burleigh Street  
Cambridge  
CB1 1JL

Tel: 01223 913012  
www.molearchitects.co.uk

DO NOT SCALE FROM THIS DRAWING. VERIFY ALL DIMENSIONS ON SITE. DRAWING SHOULD BE READ IN CONJUNCTION WITH INFORMATION FROM ALL OTHER DESIGN CONSULTANTS AND CONTRACTS. ALL DRAWINGS IN DIGITAL FORMAT ARE FOR REFERENCE ONLY.

# Aerial View





# Aerial View of the Proposed Development



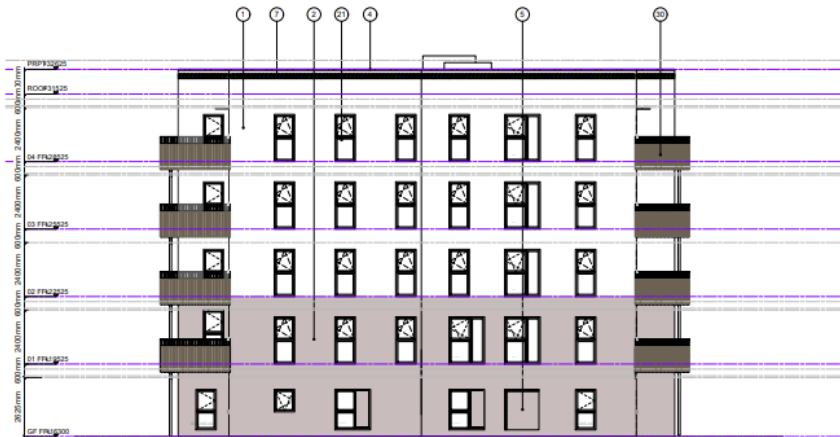
# Proposed Block Plan/ Ground Floor Plan



# Proposed Roof Plan



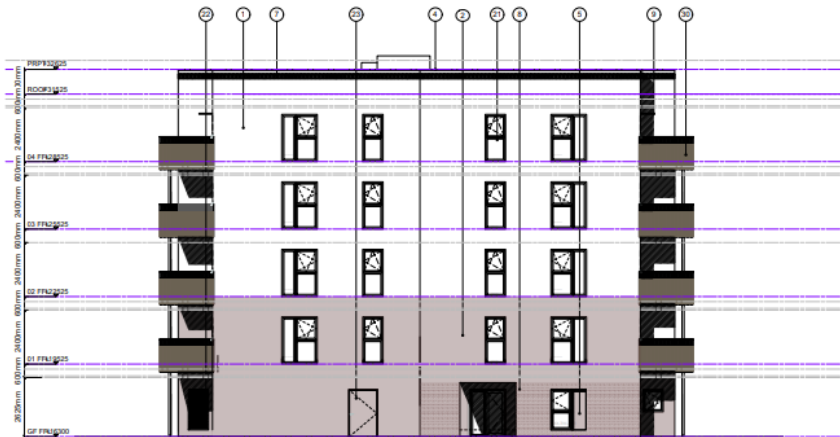
## Elevations- Block W1



1 W1 North Elevation  
Scale: 1:100 @ A1



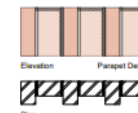
2 W1 East Elevation  
Scale: 1:100 @ A1



3 W1 South Elevation  
Scale: 1:100 @ A1



4 W1 West Elevation  
Scale: 1:100 @ A1



Plan

5 D\_01

Scale: 1:10 @ A1



6 D 02  
Scale: Not To Scale

7 Brick 1  
Scale: n/a



8 **Brick 2**  
Scale: n/a



## Elevations- Block E1



2 E1 East Elevation  
Scale: 1:100 @ A1

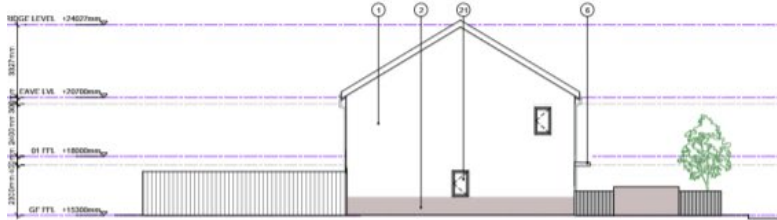


4 E1 West Elevation  
Scale: 1:100 @ A1

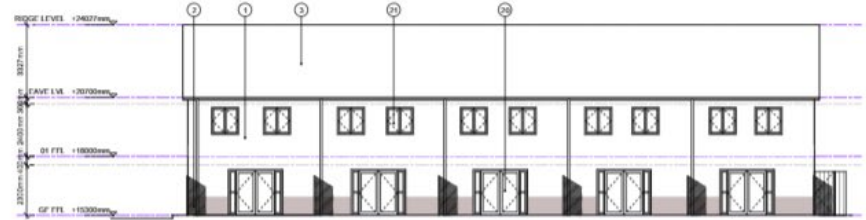




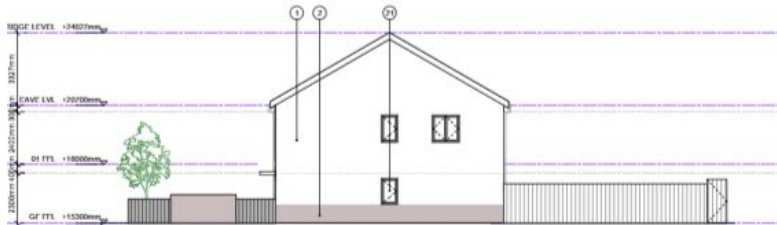
# Elevations- Block E3



1 E3 North Elevation  
Scale: 1:100 @ A1



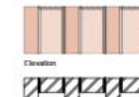
2 E3 East Elevation  
Scale: 1:100 @ A1



3 E3 South Elevation  
Scale: 1:100 @ A1



4 E3 West Elevation  
Scale: 1:100 @ A1



5 D.01  
Scale: 1:10 @ A1



6 D.02  
Scale: Not To Scale



7 Brick 1  
Scale: n/a



8 Brick 2  
Scale: n/a



## General Elevation:

1. Brick Finish A: White Brick
2. Brick Finish B: Dark Brown Brick
3. Terraced House Roof Finish: Grey Tile

## Windows and Doors:

20. Aluminium Composite Door
21. Aluminium Composite Window with Aluminium CIB
22. Steel Covers for Blue Stones

## Balconies:

30. Powder Coated Steel Balconies with Vertical Steel Rails - Champagne

# Elevations- Block W2



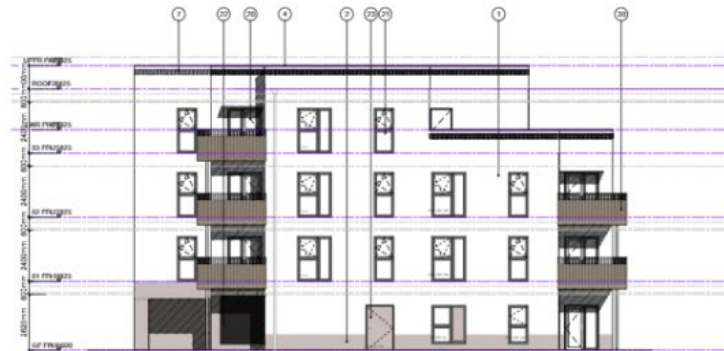
1 W2 North Elevation  
Scale: 1:100 @ A1



2 W2 East Elevation  
Scale: 1:100 @ A1



3 W2 South Elevation  
Scale: 1:100 @ A1



4 W2 West Elevation  
Scale: 1:100 @ A1



5 D. 01  
Scale: 1:10 @ A1

6 D. 02  
Scale: Not To Scale

7 Brick 1  
Scale: n/a

8 Brick 2  
Scale: n/a



General Elevation:  
1. Brick Finish A: White Brick  
2. Brick Finish B: Dark Brown Brick  
3. Terraced House Roof Finish: Grey Tile

Windows and Doors:  
20. Aluminium Composite Door  
21. Aluminium Composite Window with Aluminium Cl  
22. Steel Louvers for Glass Store

Materials:  
30. Powder Coated Steel Balconies with  
Vertical Steel Posts - Champagne

Foundations: Road  
Concrete Road  
Scale: 1:100 @ A1  
Mole

# Elevations- Block E2



1 E2 North Elevation  
Scale: 1:100 @ A1



2 E2 East Elevation  
Scale: 1:100 @ A1



3 E2 South Elevation  
Scale: 1:100 @ A1



4 E2 West Elevation  
Scale: 1:100 @ A1



5 D 01  
Scale: 1:10 @ A1



6 D 02  
Scale: Not to Scale



7 Brick 1  
Scale: n/a



8 Brick 2  
Scale: n/a



## General Elevation

- 1 Brick Finish A: White Brick
- 2 Brick Finish B: Dark Brown Brick
- 3 Terraced House Roof Finish: Green Tiles

## Windows and Doors

- 20 Aluminium Composite Door
- 21 Aluminium Composite Window with Aluminium GR
- 22 Steel Screens for Glass Screens

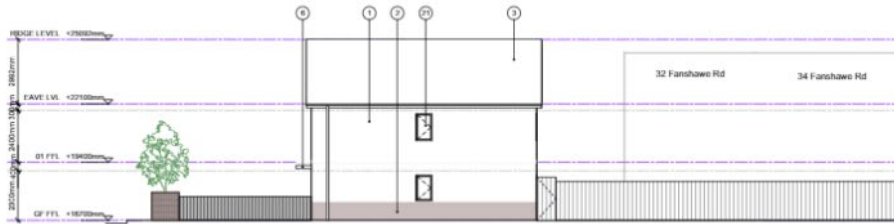
## Balconies

- 30 Powder Coated Steel Substructure with Vertical Steel Rails - Champagne

Number	100
Revision	100
Date	10/10/2024
Drawn by	100
Checked by	100

Mole

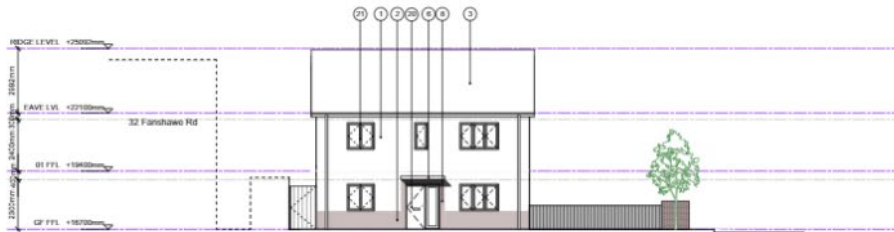
# Elevations- Block W3



1 W3 North Elevation  
Scale: 1:100 @ A1



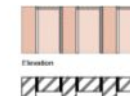
2 W3 East Elevation  
Scale: 1:100 @ A1



3 W3 South Elevation  
Scale: 1:100 @ A1



4 W3 West Elevation  
Scale: 1:100 @ A1



5 D 01  
Scale: 1:10 @ A1



6 D 02  
Scale: Not To Scale



7 Brick 1  
Scale: n/a



8 Brick 2  
Scale: n/a

11/11/2021  
11/11/2021



General Elevation:

1. Brick Finish A: White Brick  
2. Brick Finish B: Pink Roman Brick

Windows and Doors:

20. Aluminum Composite Door  
21. Aluminum Composite Window with Aluminum F18

Balconies:

30. Powder Coated Steel Balconies with  
Metal Steel Balcony - 1/2" Aluminum

Fanshawe Road  
11/11/2021

Mole  
11/11/2021



# Materials- Apartments

## 4.6 Materiality - Apartments



1:  
Parapet Detail.



2:  
Balcony railings panel Detail.



3:  
Pale white brick with off-white  
mortar joints.



4:  
Dark brown bricks with white  
mortar joints.



5:  
Champagne metalwork and vent  
panels



6:  
Example of protruding brick  
banding entrance areas.





# Materials- Houses



1:  
Grey roof tiles



2:  
Example of protruding brick  
banding entrance areas.



3:  
Pale white brick with off-white  
mortar joints.



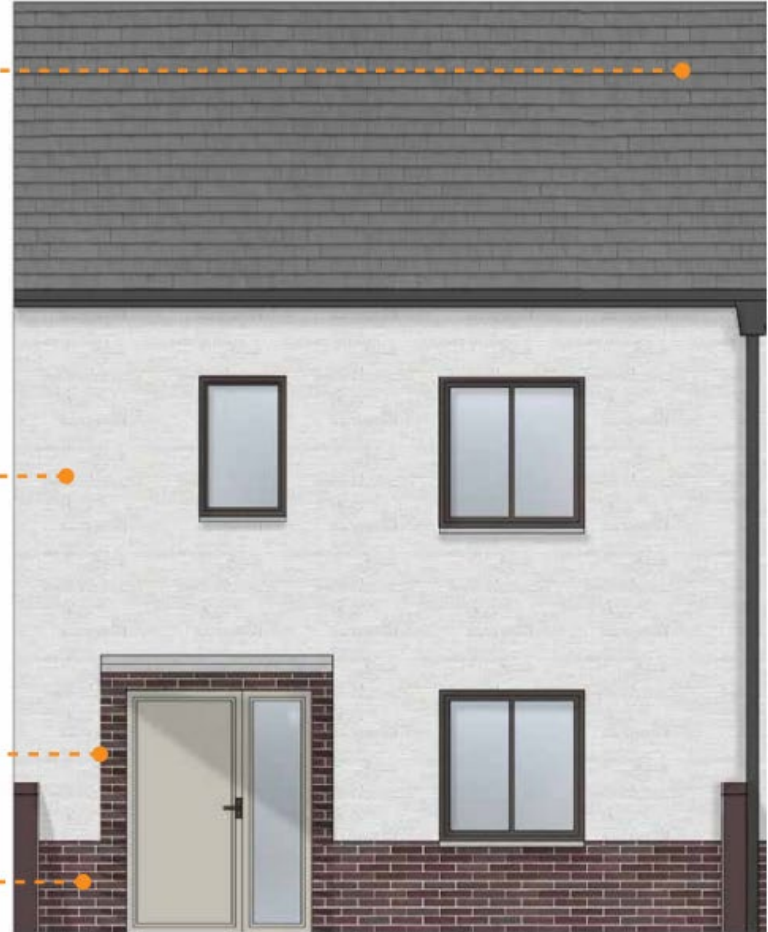
4:  
Dark brown bricks with white  
mortar joints.

1

3

2

5



New play spaces

Publicly  
accessible

Enhanced  
permeability

Biodiversity  
enhancements



- A Central play space area
- B Attenuation basin
- C Play bridges and slides
- D Wildflower planting
- E Planted garden
- F Outdoor eating & social gathering area under pergola
- G Defensible planting
- H Open flexible lawn
- I Parking court
- J Fanshawe Road entrance to the park
- K Informal play trail through wildflowers
- L Visitor cycle stands
- M Park trees in public areas
- N Communal courtyard
- O Food growing & raised beds
- P Gravel edge

# Planning Balance

## Positives

- The proposal would provide a high quality residential development (84 homes) on a brownfield site which is located in a sustainable location.
- 40% of the residential development to be secured via the Section 106 agreement as affordable housing.
- Commitment to delivering Biodiversity Net Gain on site.
- Replacement tree planting and retention of all category A trees.
- Enhanced open space
- £533,000.00 financial contributions towards key services, community, sports facilities and transport infrastructure.



## Negatives

- Loss of existing trees
- Single aspect homes

# MINOR APPLICATIONS

# 24/00973/FUL - Land to Rear of 33-39

## Paget Road

### Site Location Plan

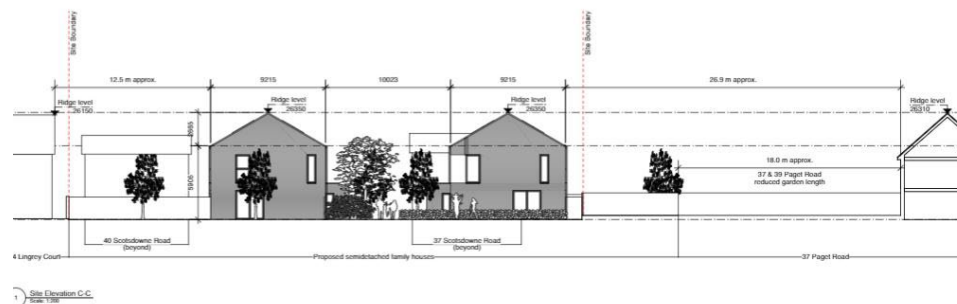




# Proposed site plan



# Proposed Site Elevations

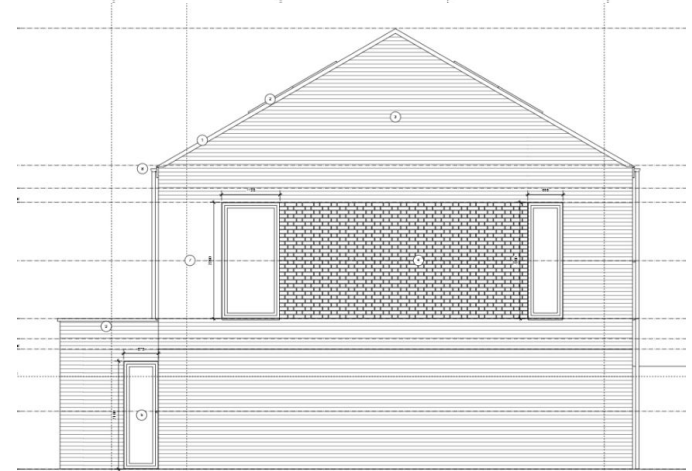


# W1 & W2 Proposed Elevations

Front – East elevation



Rear – West elevation



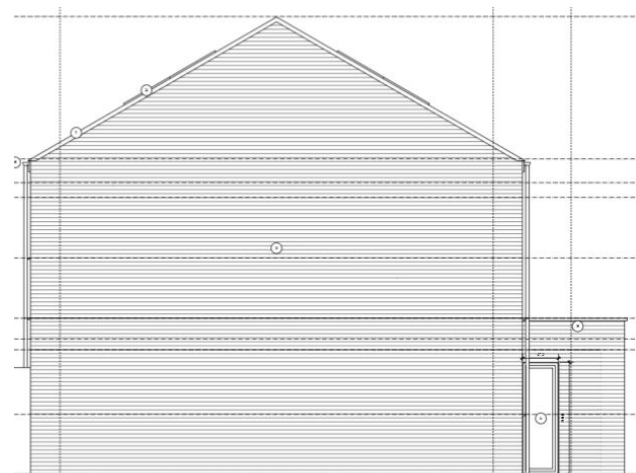
Side – North elevation

# E1 & E2 Proposed Elevations

Front – West elevation



Rear – East elevation

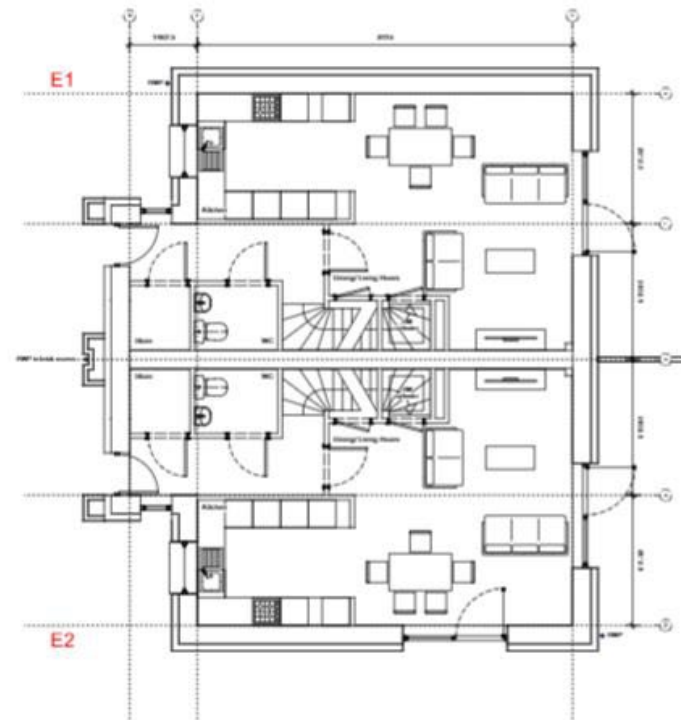
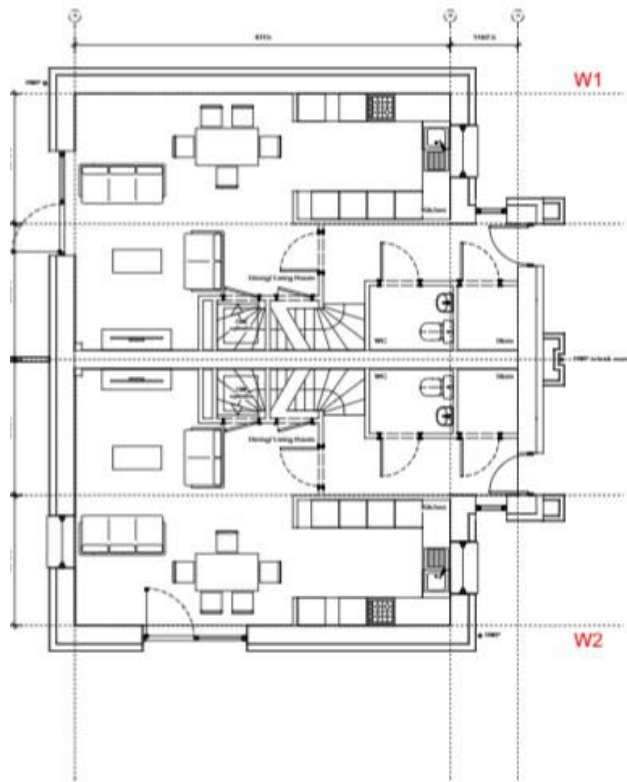


Side – North elevation



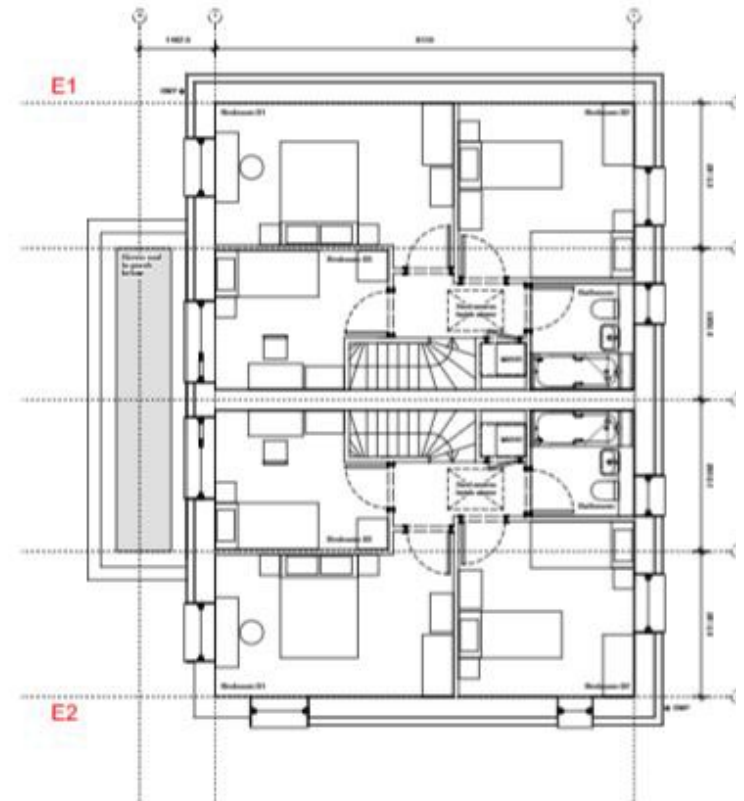
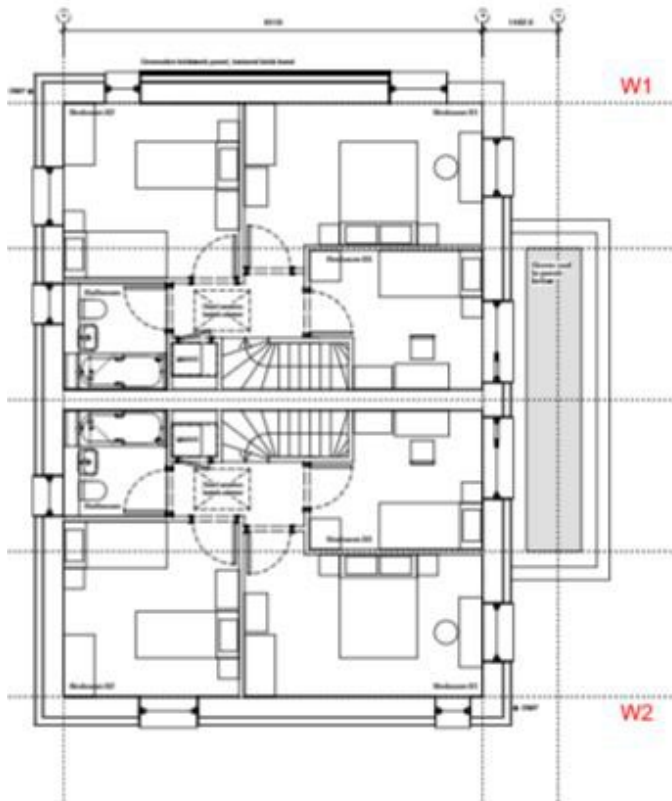
Side – South elevation

# Proposed Ground Floor Plans

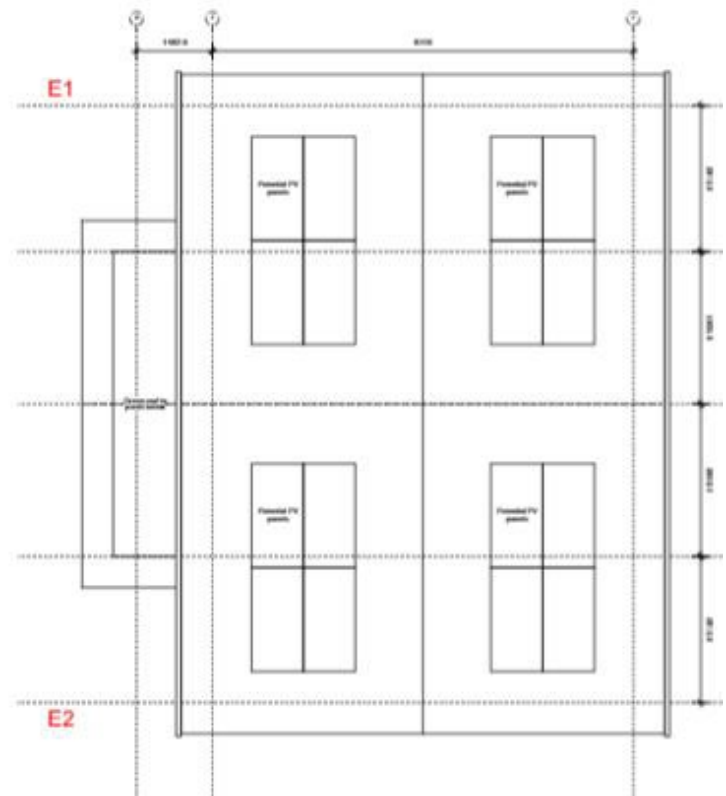
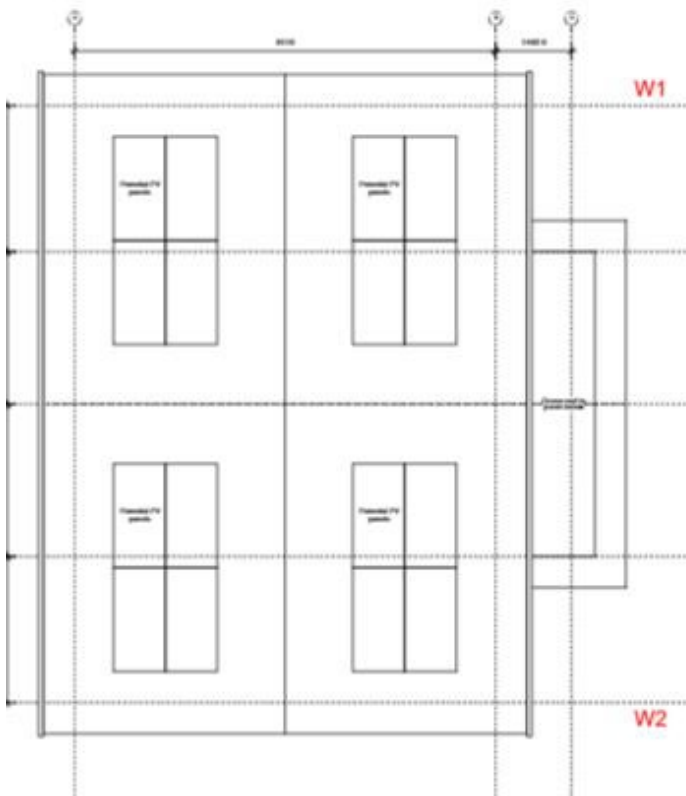




# Proposed First Floor Plans



# Proposed Roof Plan



# Proposed View 1





# Proposed View 2



# Planning Balance

## Approval

Key material considerations

- Provision of 4 dwellings that are appropriate to the character and appearance of the area

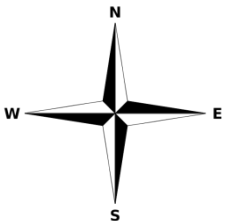


## Refusal

Key material considerations

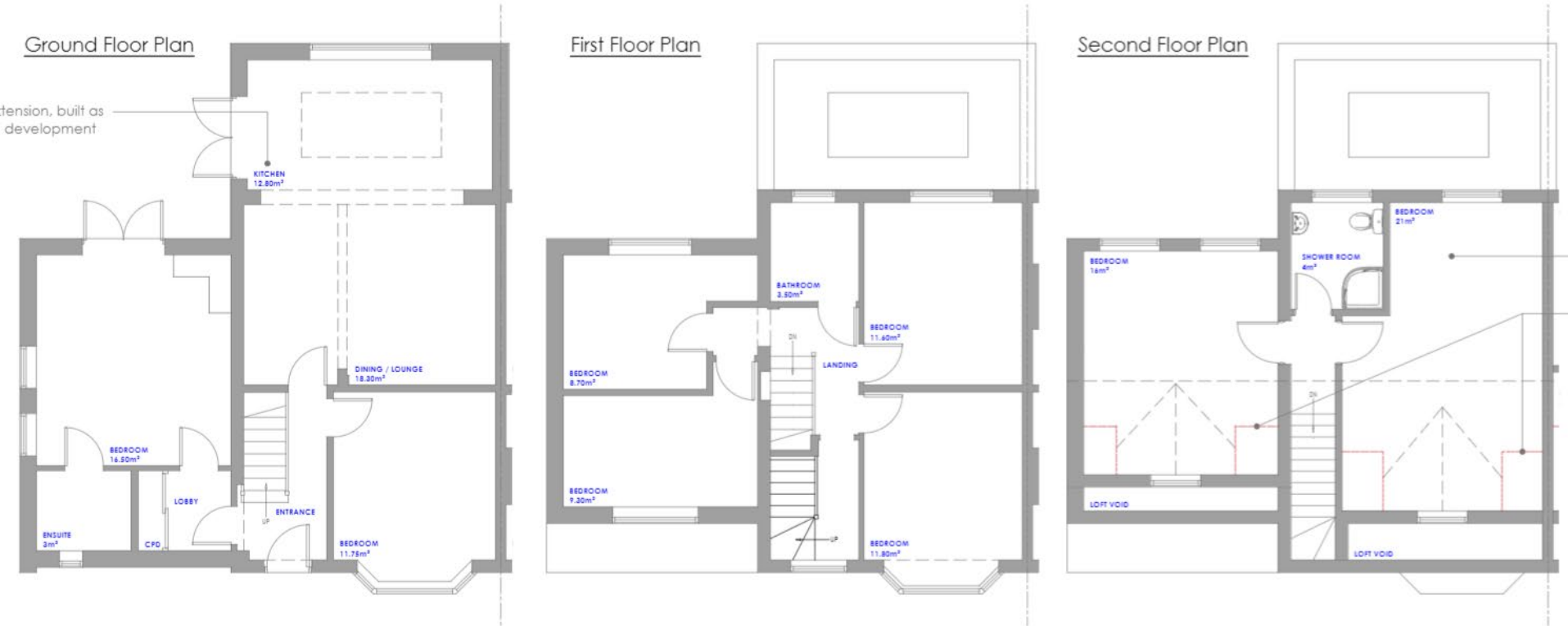
Officer Recommendation: Approve subject to conditions

# 24/01783/FUL - 2 Scotland Close Site Location Plan





# Floorplans



# Elevations



# Block Plan



# Planning Balance

## Approval

Key material considerations

- Exceeds space standards
- Sustainable Location



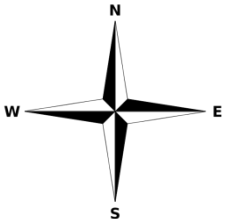
## Refusal

Key material considerations

- Neighbour Amenity
- Parking Stress

Officer Recommendation: Approve

*24/01907/S73 – 48 Cavendish Avenue*

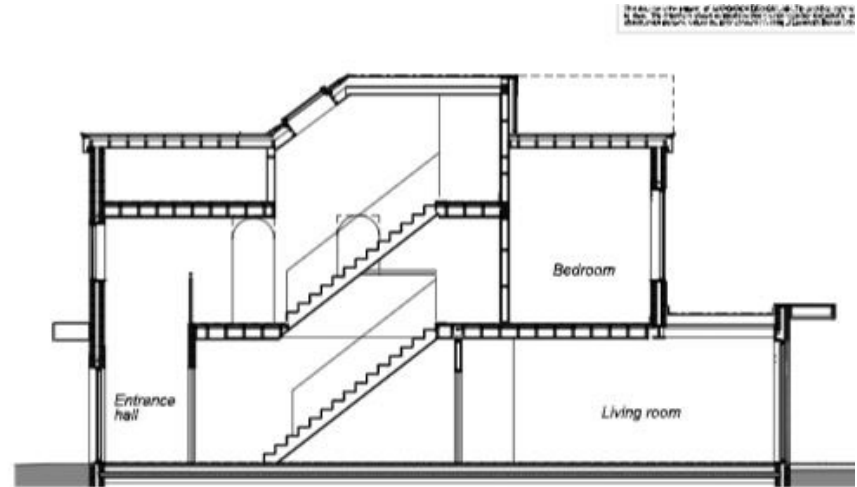




# Proposed Elevations



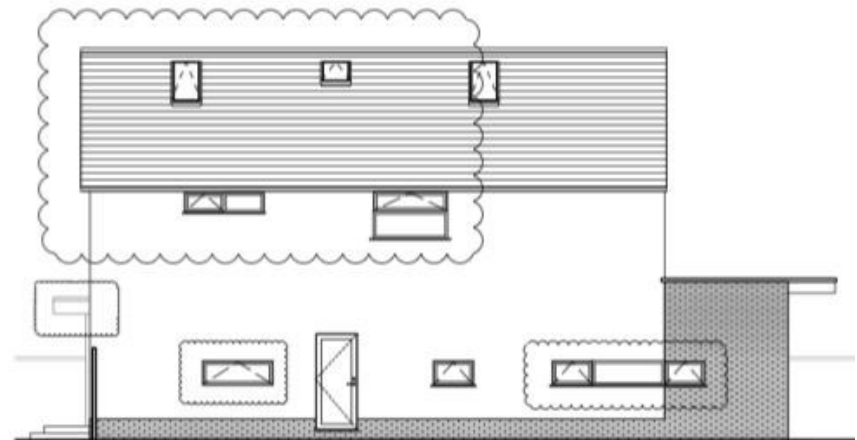
Rear Elevation



Section AA

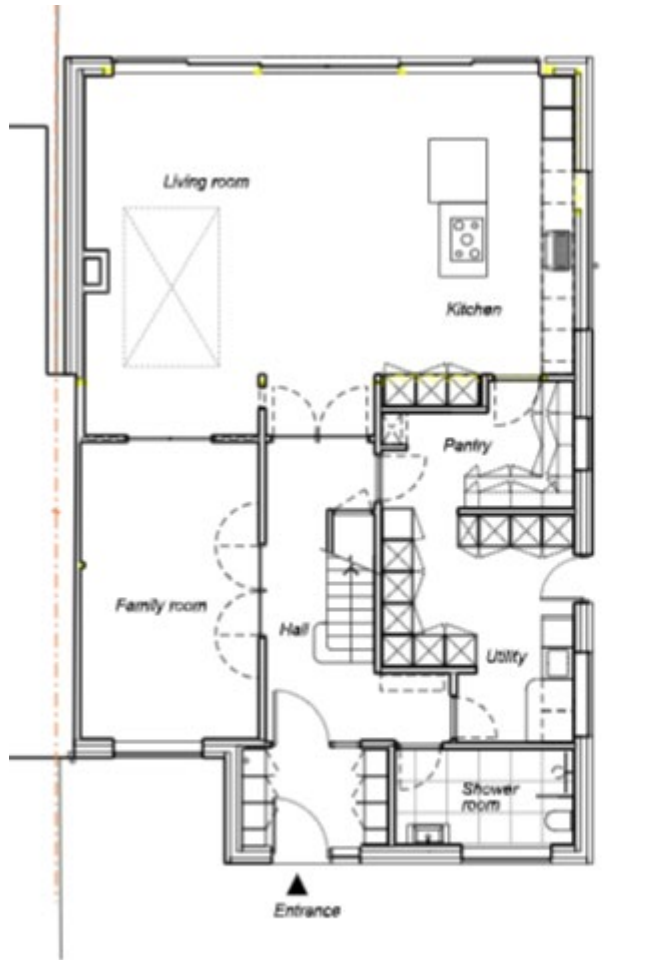


Front Elevation

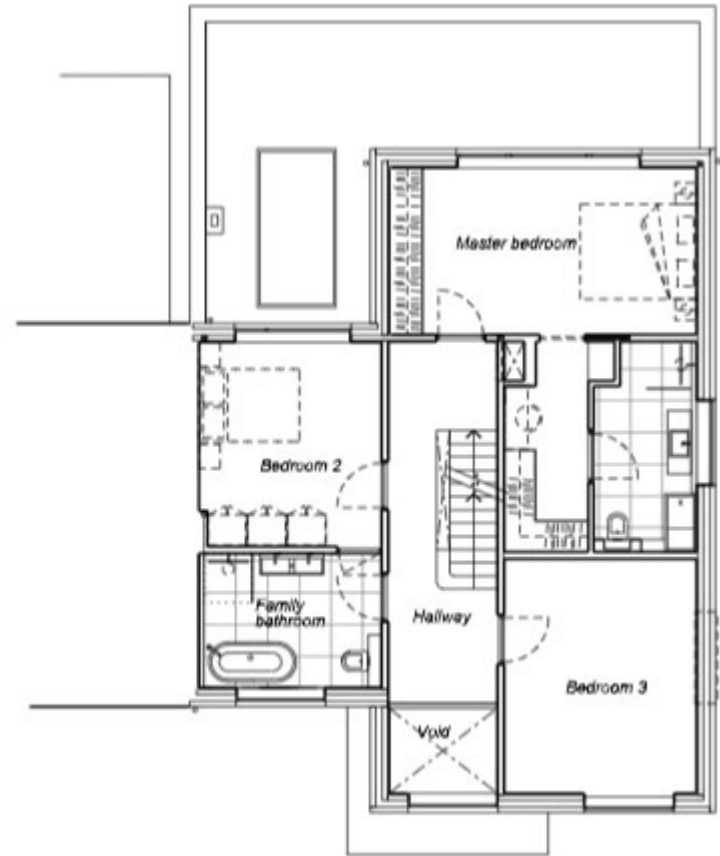


Side Elevation

# Proposed Ground and First Floor Plans

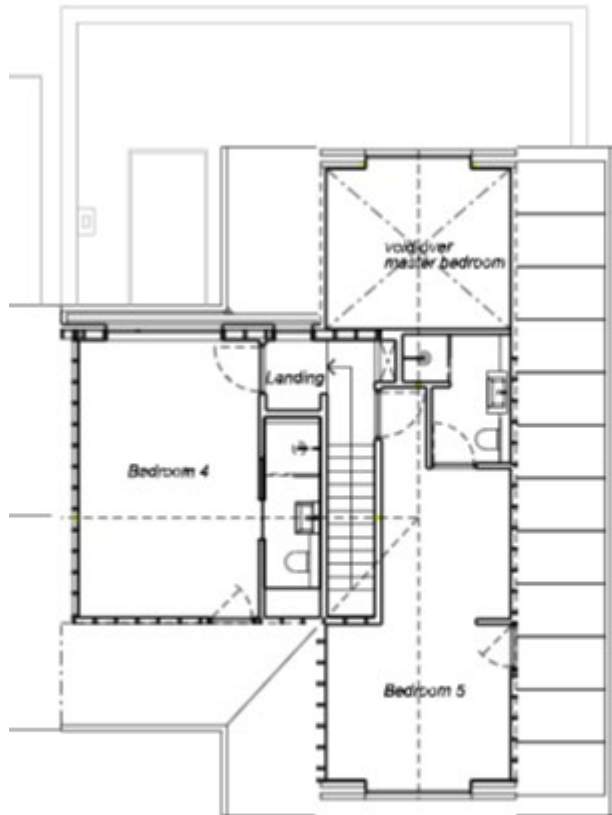


Ground Floor Plan



First Floor Plan

# Proposed Second Floor and Roof Plans



Loft Floor Plan



Roof Plan

# Planning Balance

## Approval

Key material considerations

- The proposed amendments are in keeping with the character and appearance of the surrounding area.



## Refusal

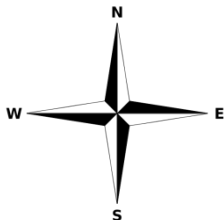
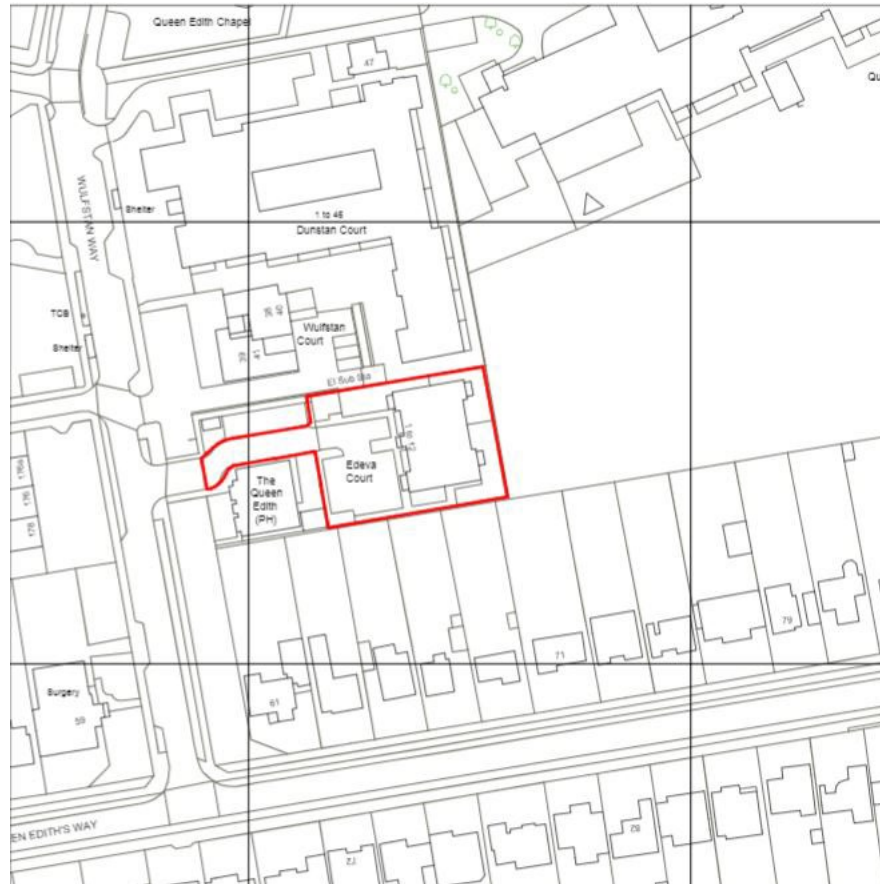
Key material considerations

Officer Recommendation: Approve subject to conditions

# *24/01604/FUL – Edeva Court,*

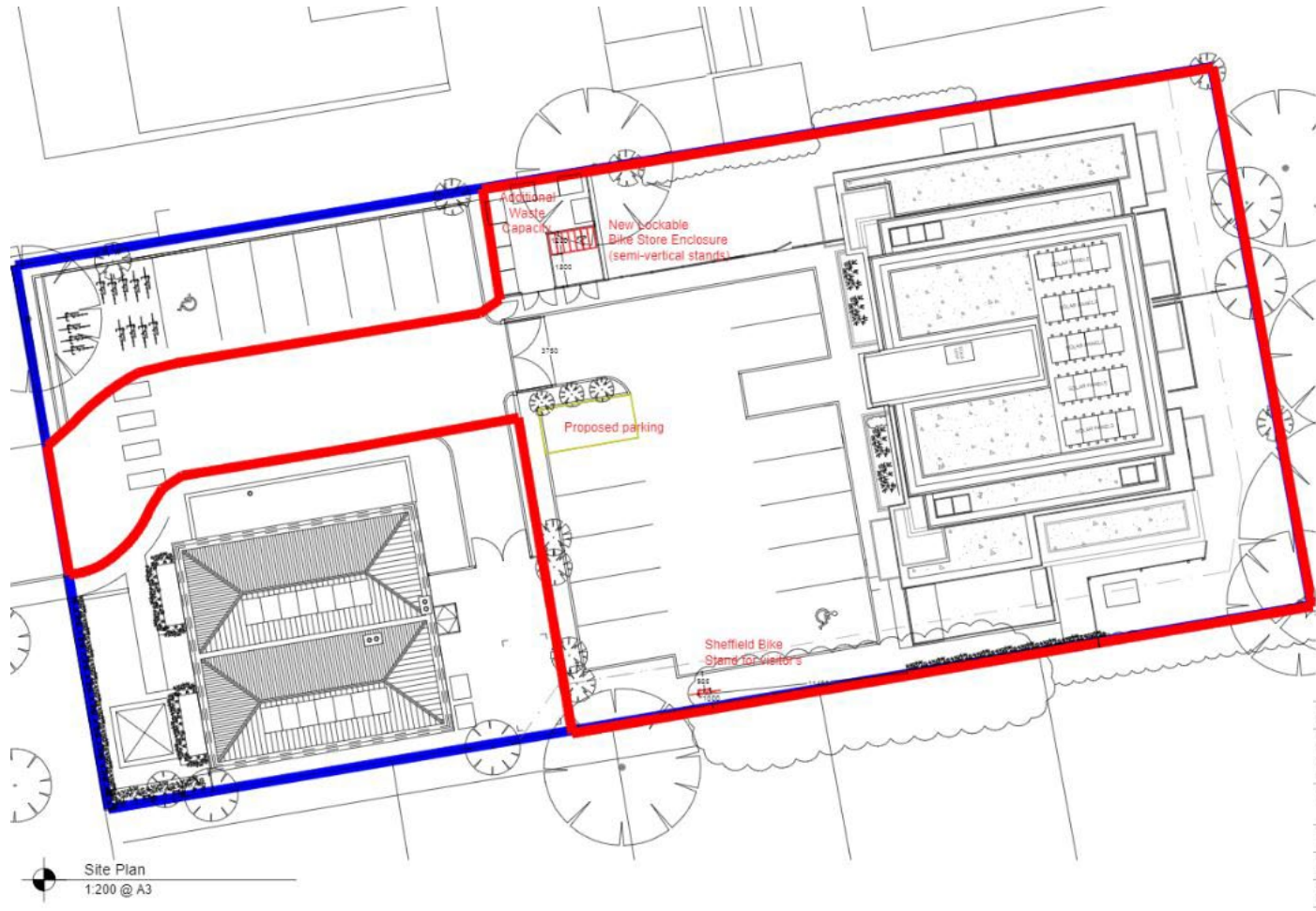
## *Cambridge*

### Site Location Plan





# Proposed Site Plan



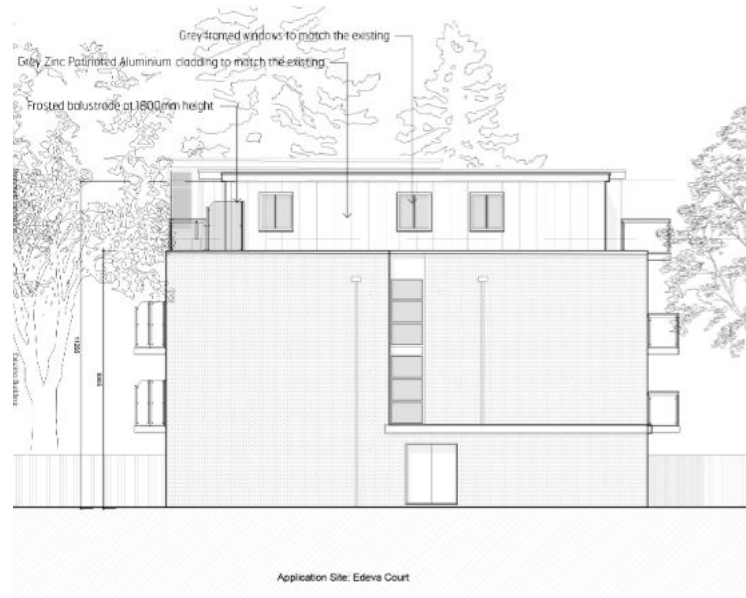
# Proposed Front and Rear Elevations



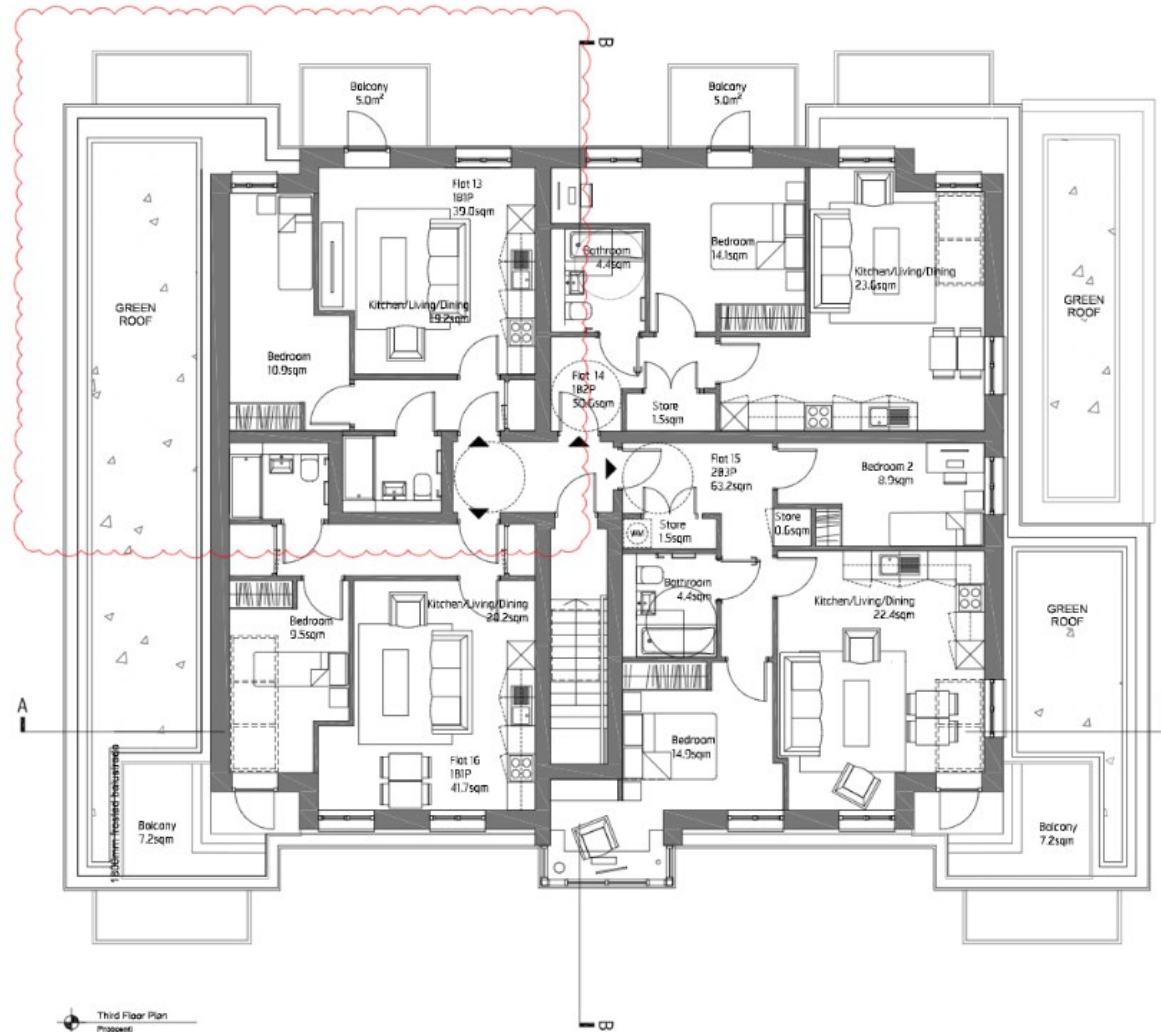
# Proposed Side Elevations



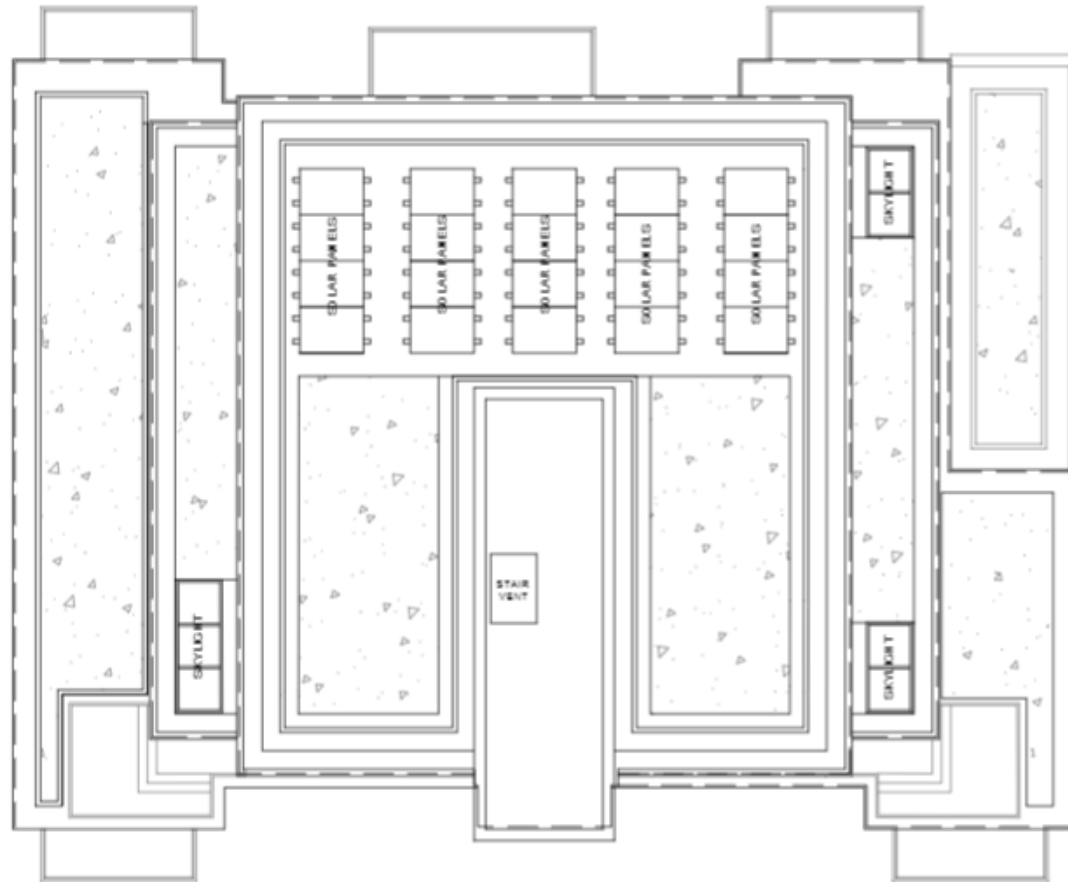
Proposed North Elevation (Side)  
1:100 @ A1



# Proposed Third Floor Plan



# Proposed Roof Plan

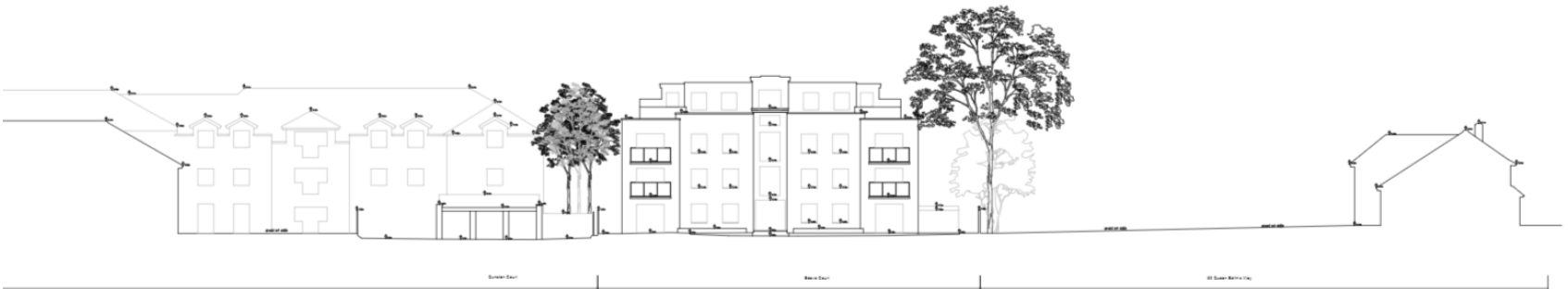


Roof Plan  
Proposed



# Proposed Cross Sections

Front – West cross section



Side – North cross section

# Planning Balance

## Approval

Key material considerations

- Provision of an additional 4 dwellings in keeping with the character and appearance of the area



## Refusal

Key material considerations

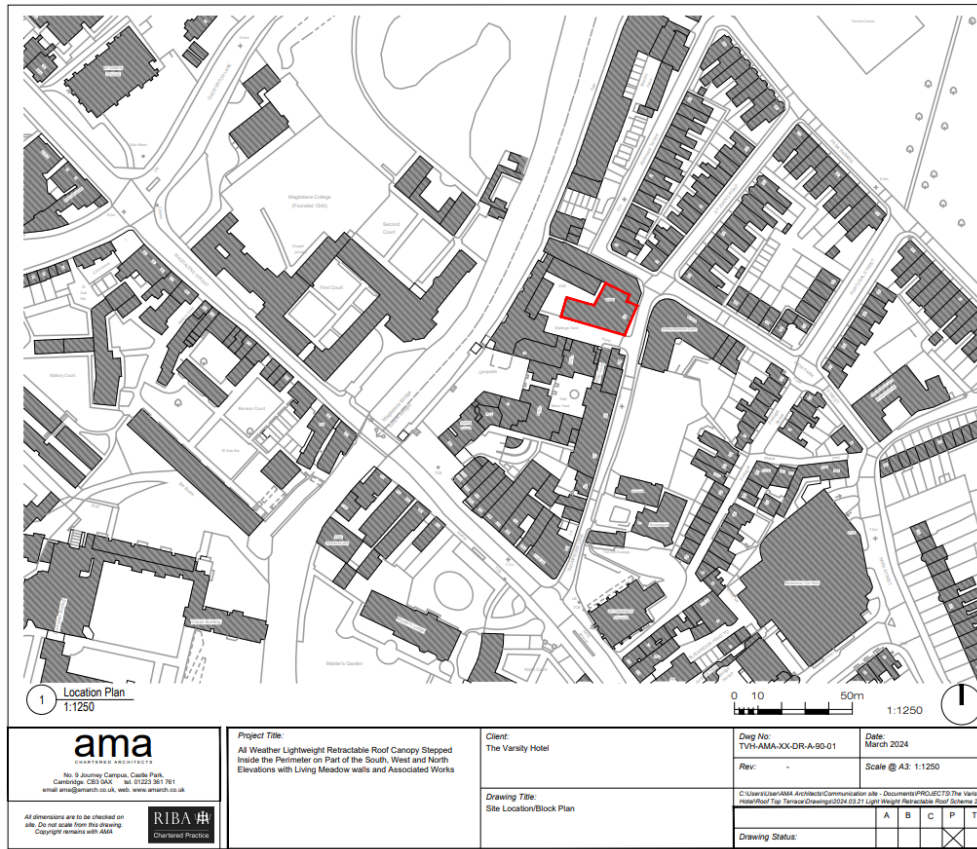
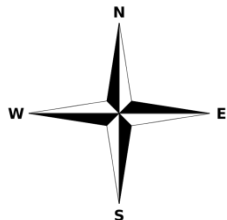
Officer Recommendation: Approve subject to Conditions

# Ref no. 24/01408/FUL

## *The Varsity Hotel and Spa, 24 Thompson,*

## *Cambridge*

### Site Location Plan



1

Site Plan  
1:500

# Existing and Proposed West Elevation



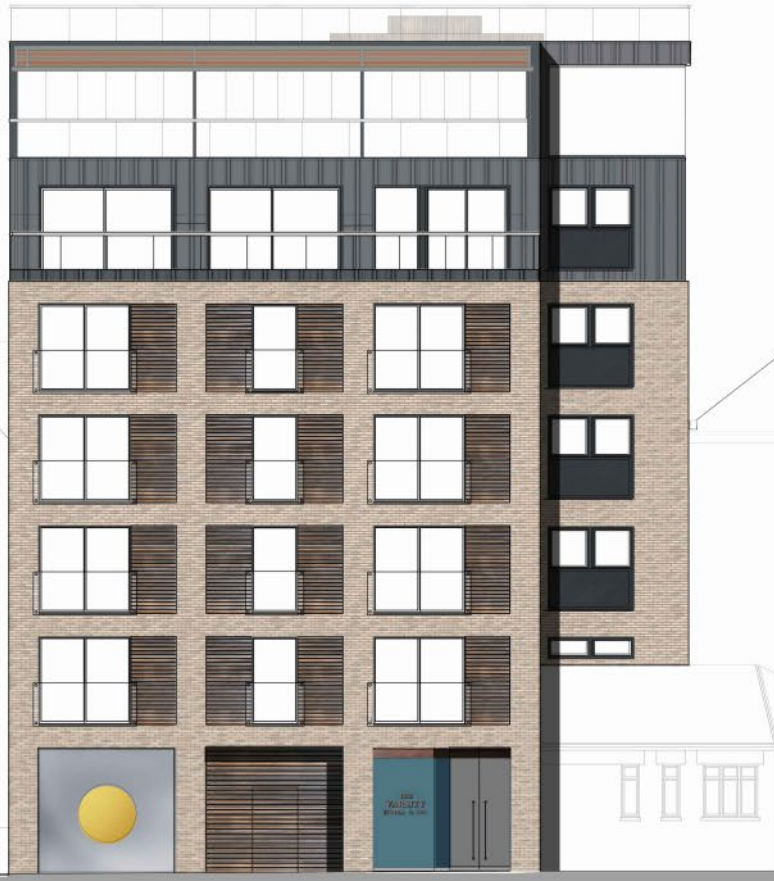
1 Existing West Elevation  
1:100



2 Proposed West Elevation  
1:100



# Existing and Proposed East Elevation



1 Existing East Elevation  
1:100



2 Proposed East Elevation  
1:100



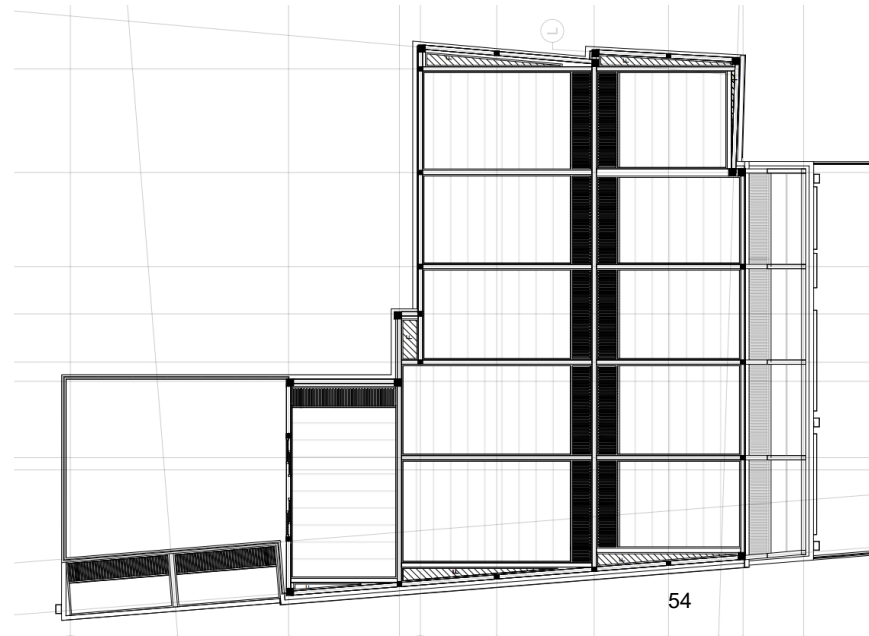
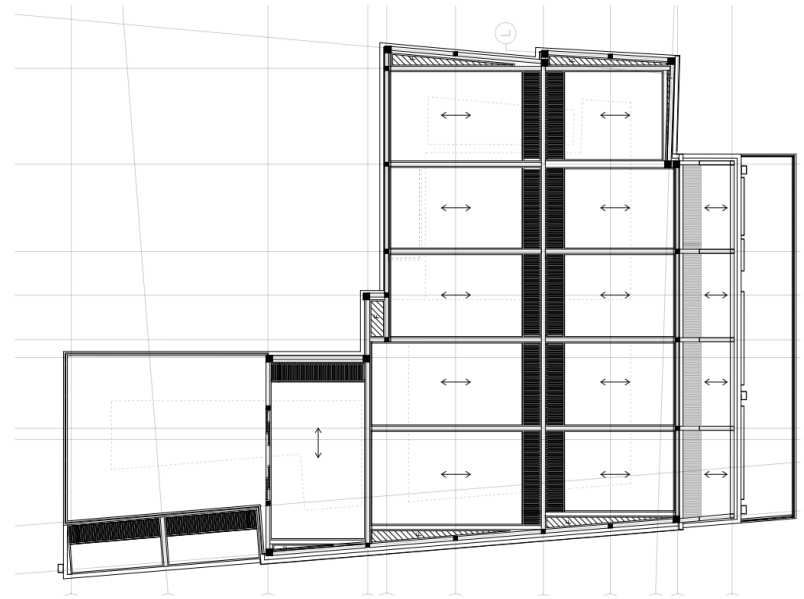
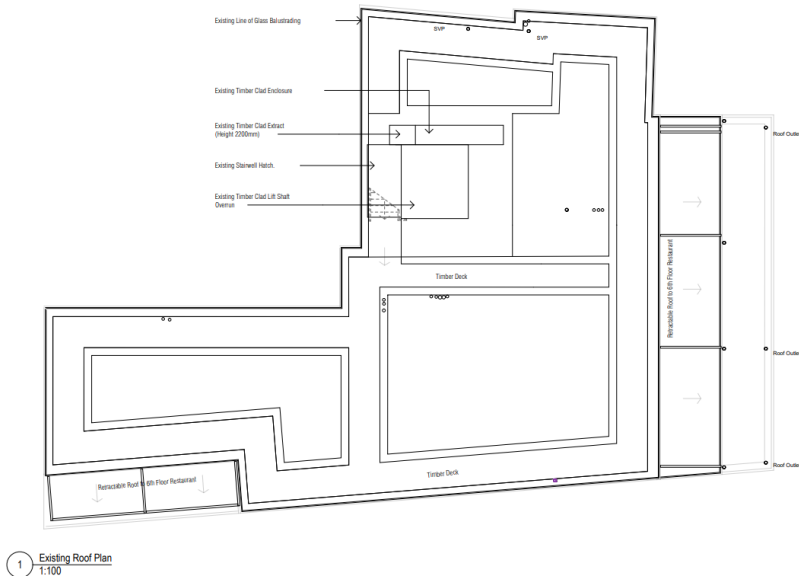
# Existing and Proposed South Elevations



# Existing and Proposed North Elevation



# Existing and Proposed Roof Plan (open and closed)



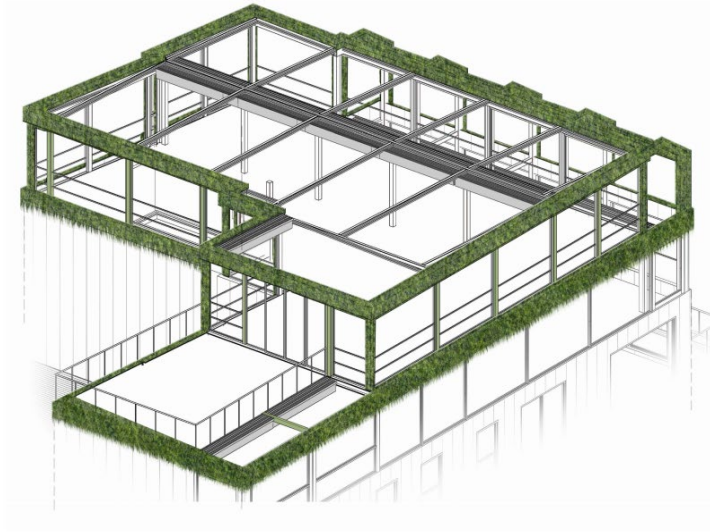
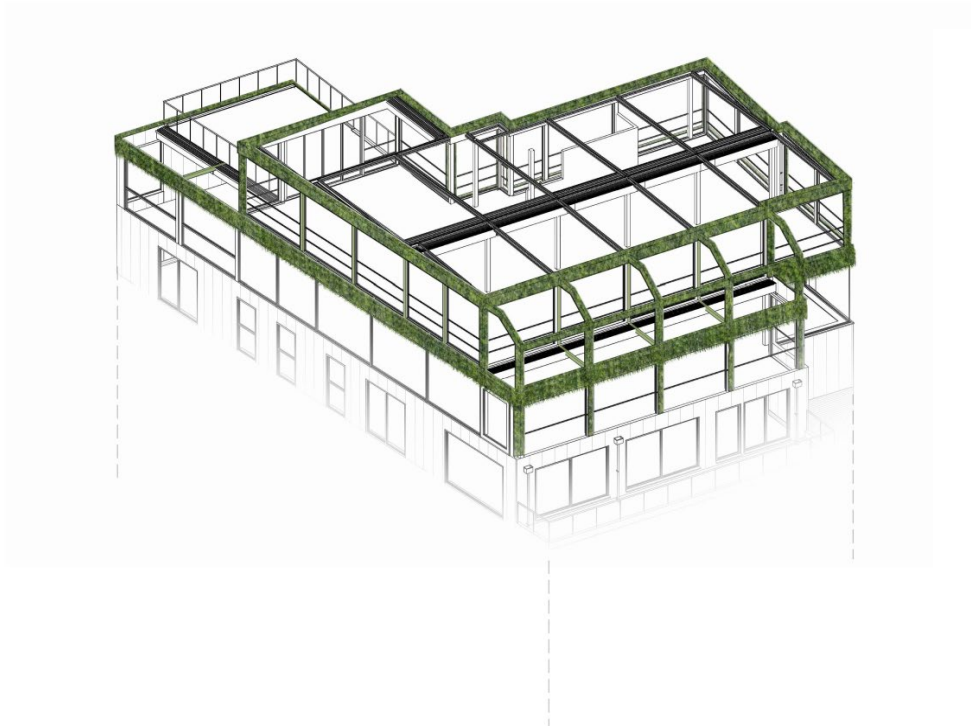
The image displays a set of architectural drawings for a proposed green building facade system. The central drawing is a 3D perspective view of a building section, showing a multi-story structure with a green wall and a retractable roof. Red dashed lines connect this central view to eight detailed cross-sections, numbered 1 through 8.

- 1 Proposed Guide Window Section** (Scale 1/10): A vertical cross-section showing the window frame and surrounding structure. Dimensions include 1.5m, 1100, and 1100.
- 2 Panel Detail - Window Motor Housing (Motor Completely Concealed From Sight)** (Scale 1/5): A detailed cross-section of the window motor housing, showing the motor, window frame, and surrounding structure. Labels include: Reinforcing, 3/4" x 10" Motor, 2x4 x 100 (2), Window Motor Housing, Reinforcing, and Structural Steel Column.
- 3 Retractable Roof - Apex Section** (Scale 1/10): A cross-section of the retractable roof, showing the roof structure and the motor housing. Labels include: Retractable Roof - Apex Section and Roof Open - Motor Not Visible.
- 4 Chamfered Beam Cross Section** (Scale 1/5): A cross-section of a chamfered beam, showing the beam structure and the surrounding green wall. Dimensions include 144 and 144.
- 5 Window Frame Cross Section 3D View (Corner)** (Scale 1/5): A 3D view of a window frame cross-section, showing the frame structure and the surrounding green wall. Dimensions include 144 and 144.
- 6 Window Frame Cross Section 3D View** (Scale 1/5): A 3D view of a window frame cross-section, showing the frame structure and the surrounding green wall. Dimensions include 144 and 144.
- 7 Retractable Roof Column Support Cross Section** (Scale 1/5): A cross-section of a retractable roof column support, showing the column structure and the surrounding green wall. Dimensions include 100 and 100.
- 8 Proposed Cross Beam Section** (Scale 1/5): A cross-section of a proposed cross beam, showing the beam structure and the surrounding green wall. Dimensions include 250 and 250.

A scale bar is located at the bottom right of the image, indicating a scale of 1/5.



# 3D Detail Design (front and rear)



# Visualisation Existing and Proposed Magdalene Bridge





# Visualisation Existing and Proposed Central Jesus Green



# Visualisation Existing and Proposed Jesus Green Cafe



# Visualisation Existing and Proposed Castle Mound





# Visualisation Existing and Proposed Church of St Mary's



# Visualisation Existing and Proposed Fellows Garden



# Planning Balance

## Approval

Key material considerations

Public benefits including minor employment increase and tourism potential



## Refusal

Key material considerations

Harm to Central Conservation Area

Harm to Listed Buildings (grade I and II)

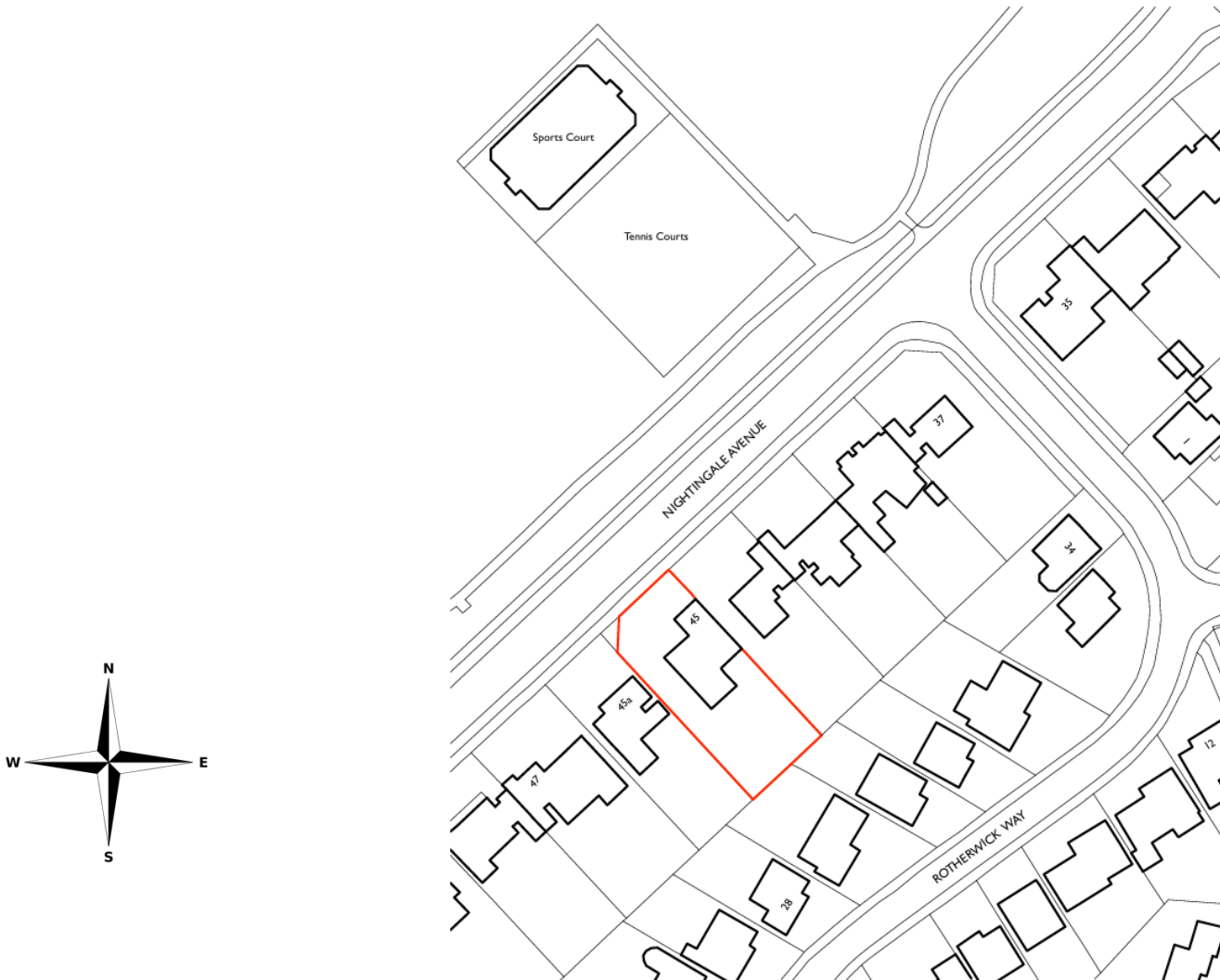
Harm to Buildings of Local Interest

Harm to setting of the River Cam

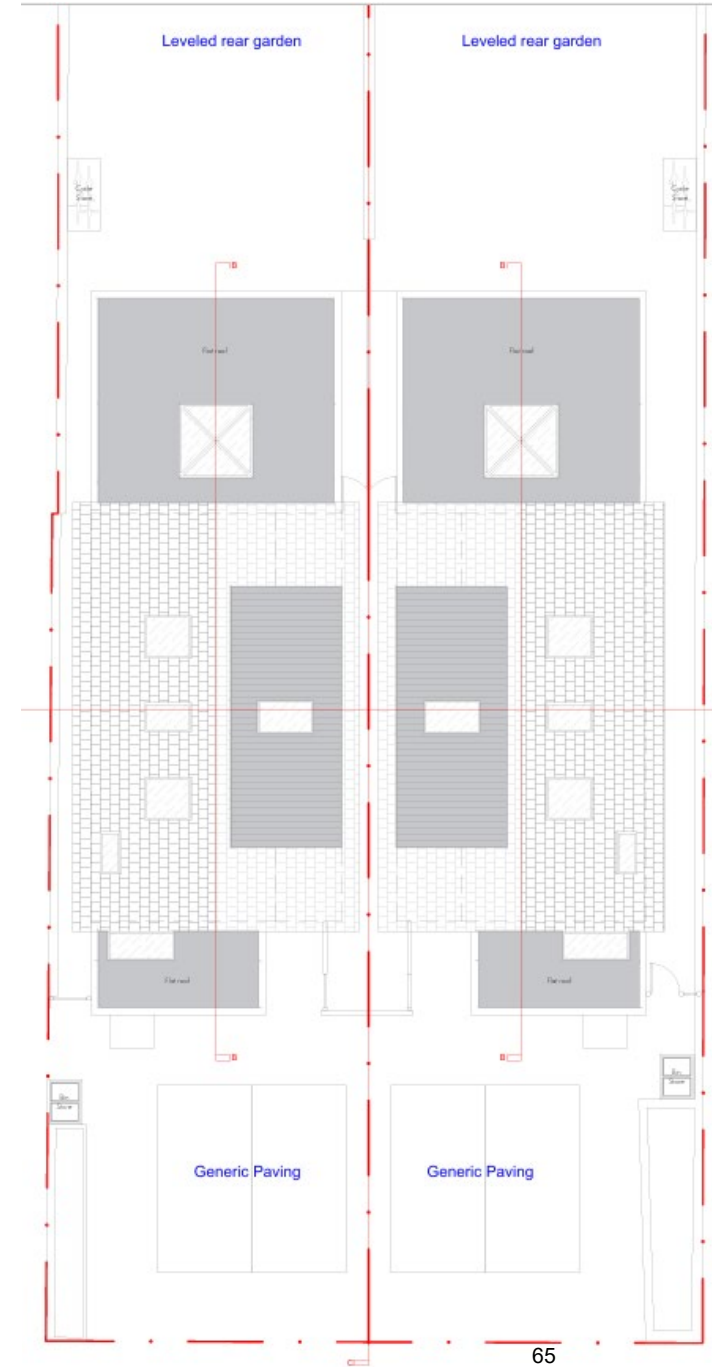
Officer Recommendation: Refuse



*Ref no.24/01388/S73*  
*45 Nightingale Avenue*  
**Site Location Plan**



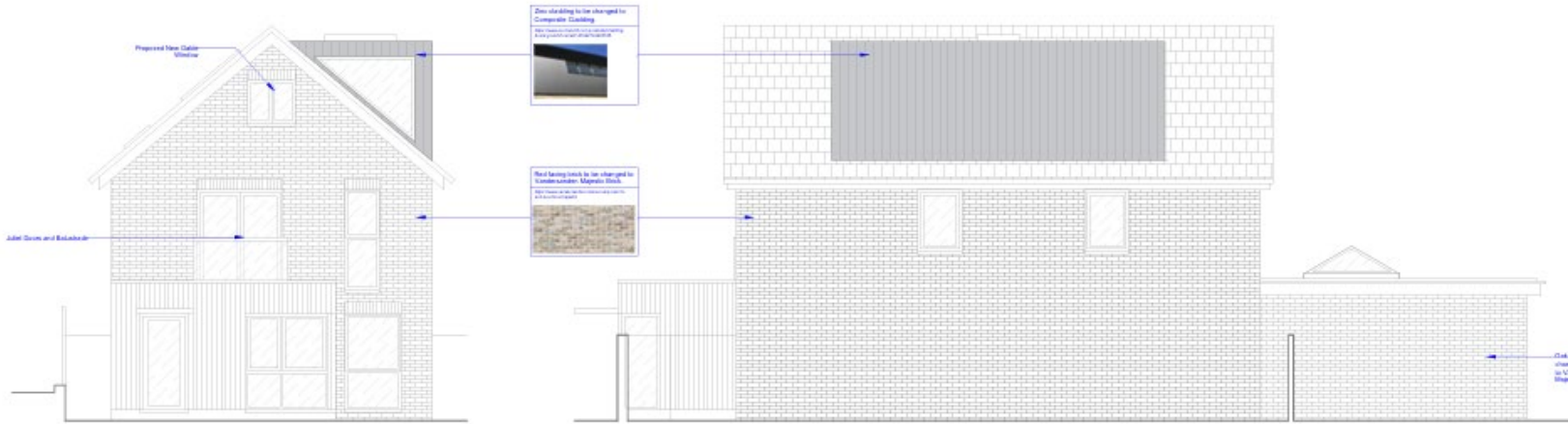
# Proposed Site Plan



PROPOSED  
SITE PLAN

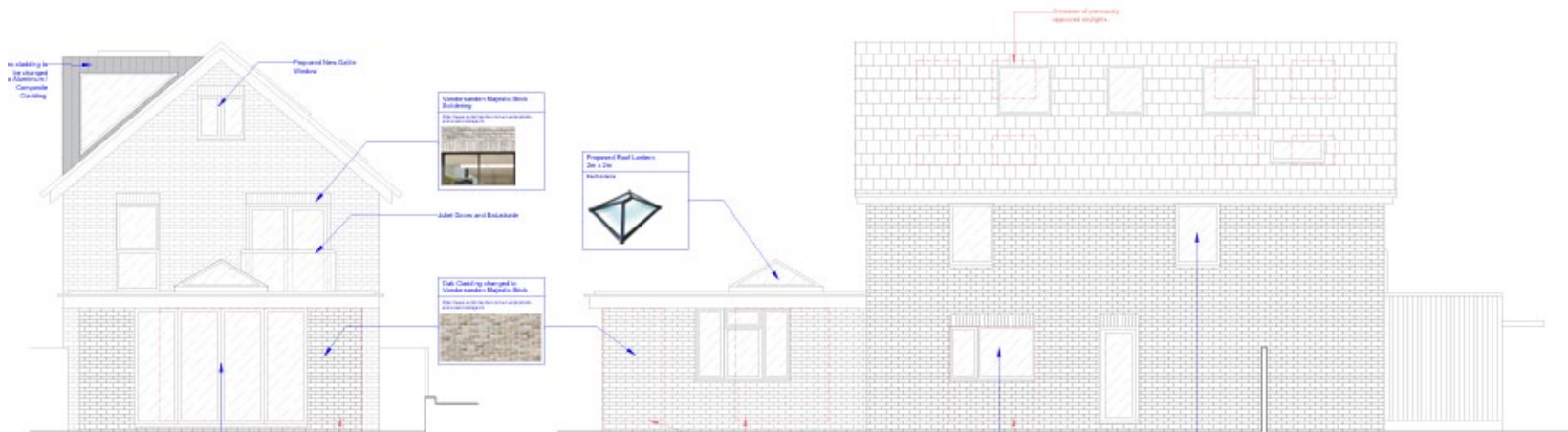


# Dwelling 1 - Proposed Elevations



PROPOSED  
FRONT ELEVATION

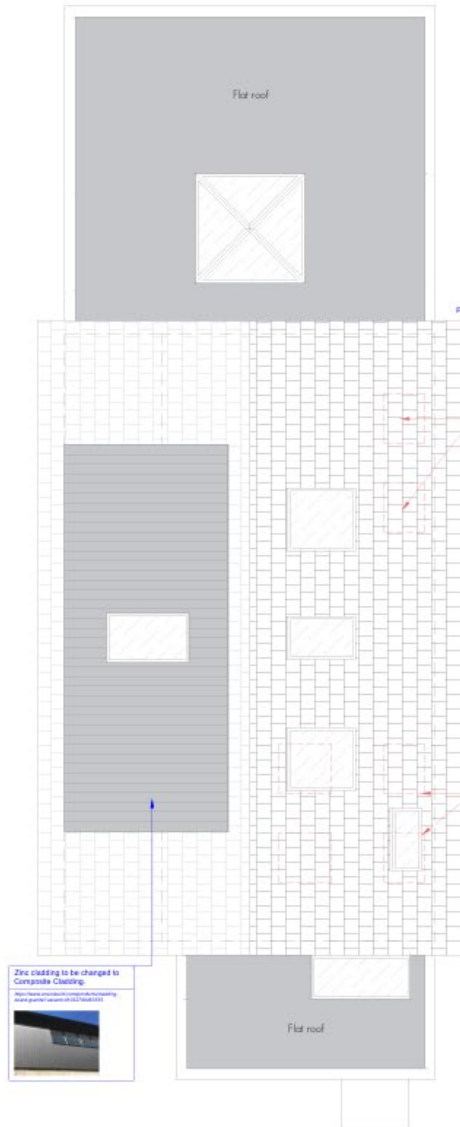
PROPOSED  
SIDE (WEST) ELEVATION



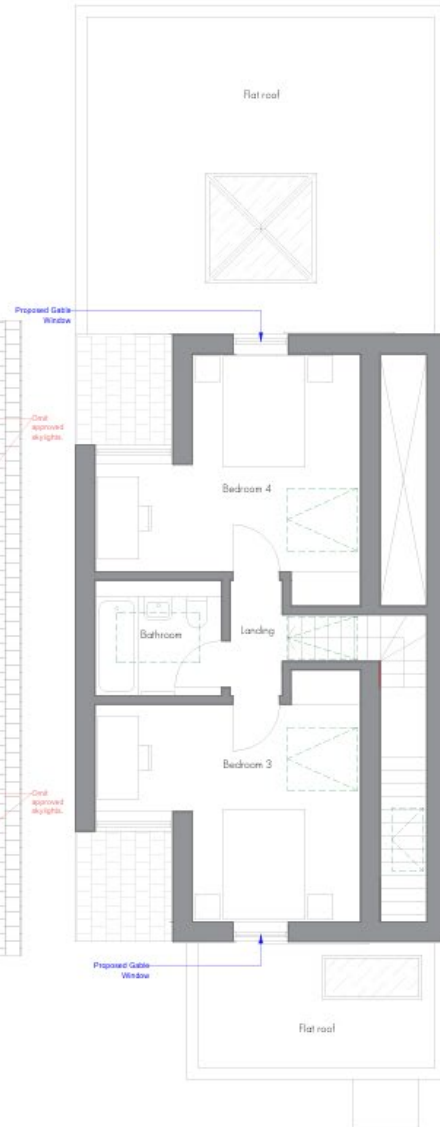
PROPOSED  
REAR ELEVATION

PROPOSED  
SIDE (EAST) ELEVATION

# Dwelling 2 – Proposed Floorplans



PROPOSED  
ROOF PLAN



PROPOSED  
SECOND FLOOR PLAN



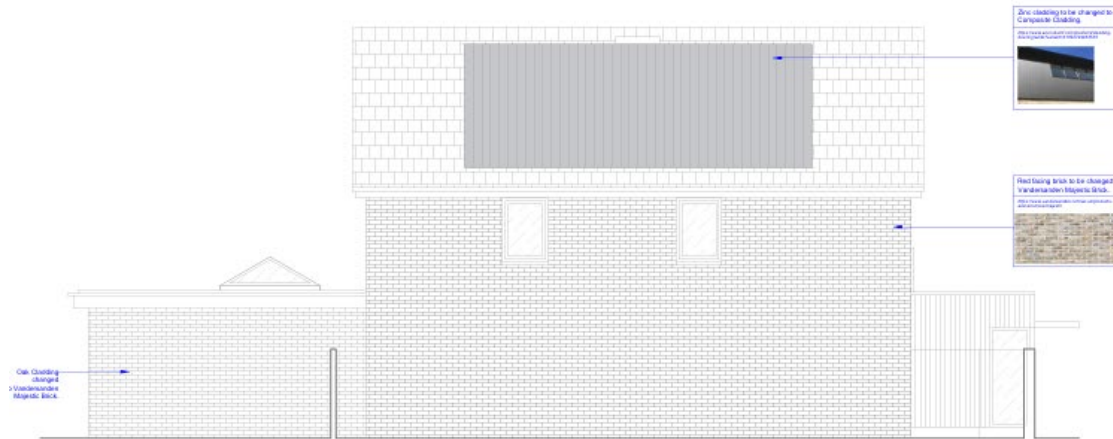
PROPOSED  
FIRST FLOOR PLAN



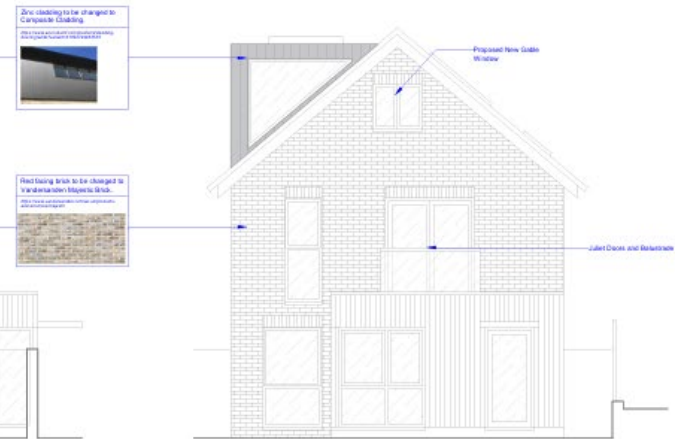
PROPOSED  
GROUND FLOOR PLAN



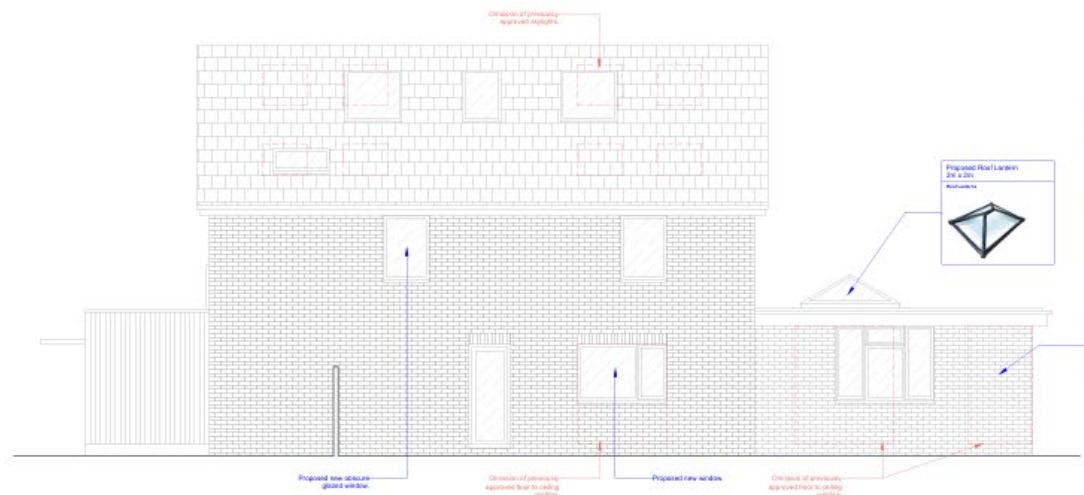
# Dwelling 2 – Proposed Elevations



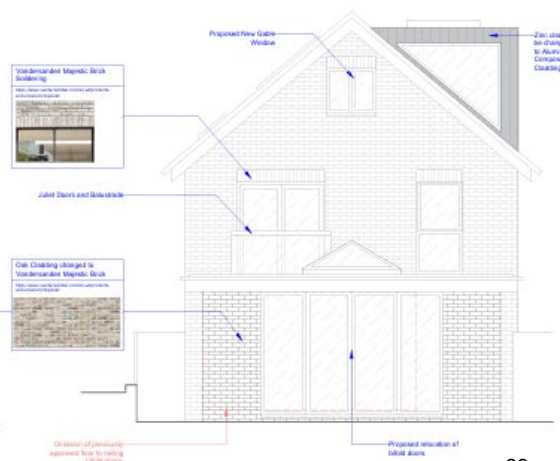
PROPOSED  
SIDE (WEST) ELEVATION



PROPOSED  
FRONT ELEVATION



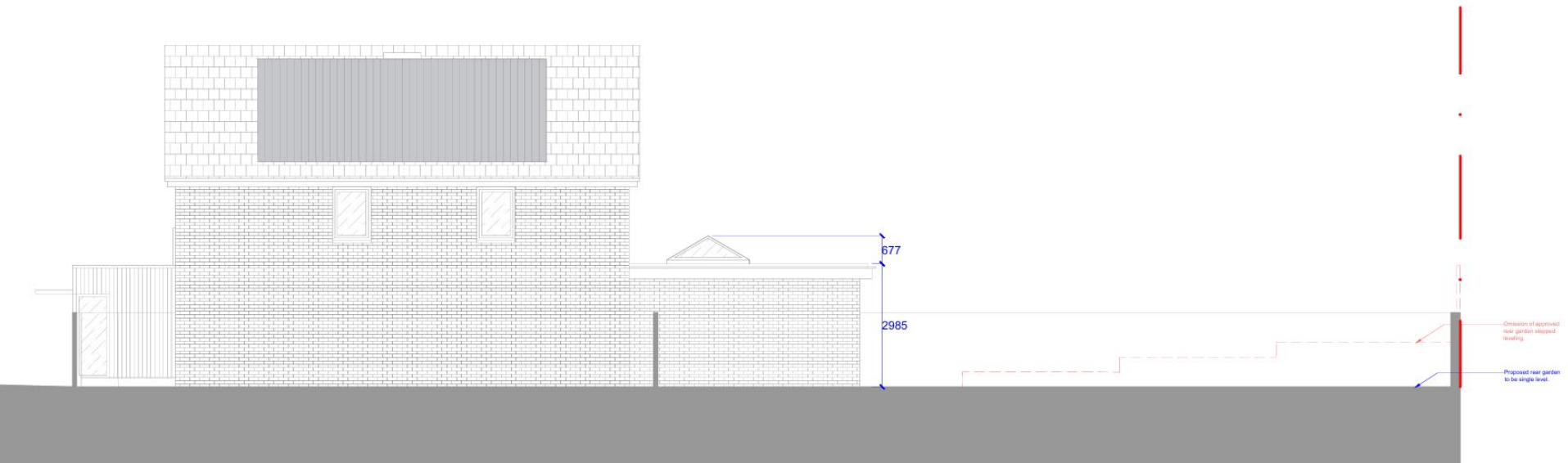
PROPOSED  
SIDE (EAST) ELEVATION



PROPOSED  
REAR ELEVATION



# Proposed Site Section



PROPOSED  
SITE SECTION CC

# Planning Balance

## Approval

Key material considerations

- Proposed changes would not compromise neighbour amenity or have any harmful impact on character and appearance of area.
- Contribution to supply of residential accommodation within Cambridge



## Refusal

Key material considerations

- None.

Officer Recommendation: Approve