

JDCC
12
December
2023

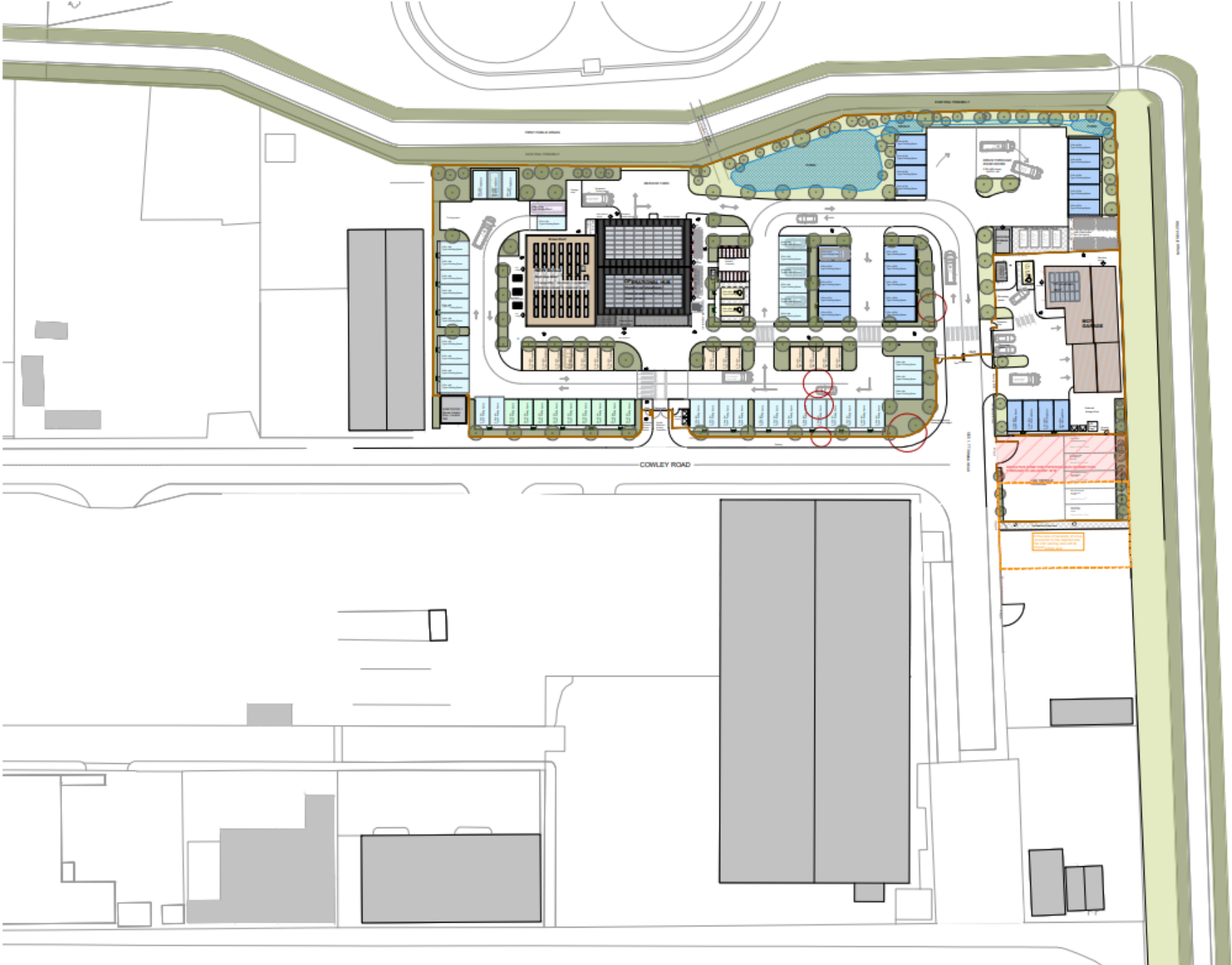


GREATER CAMBRIDGE
SHARED PLANNING

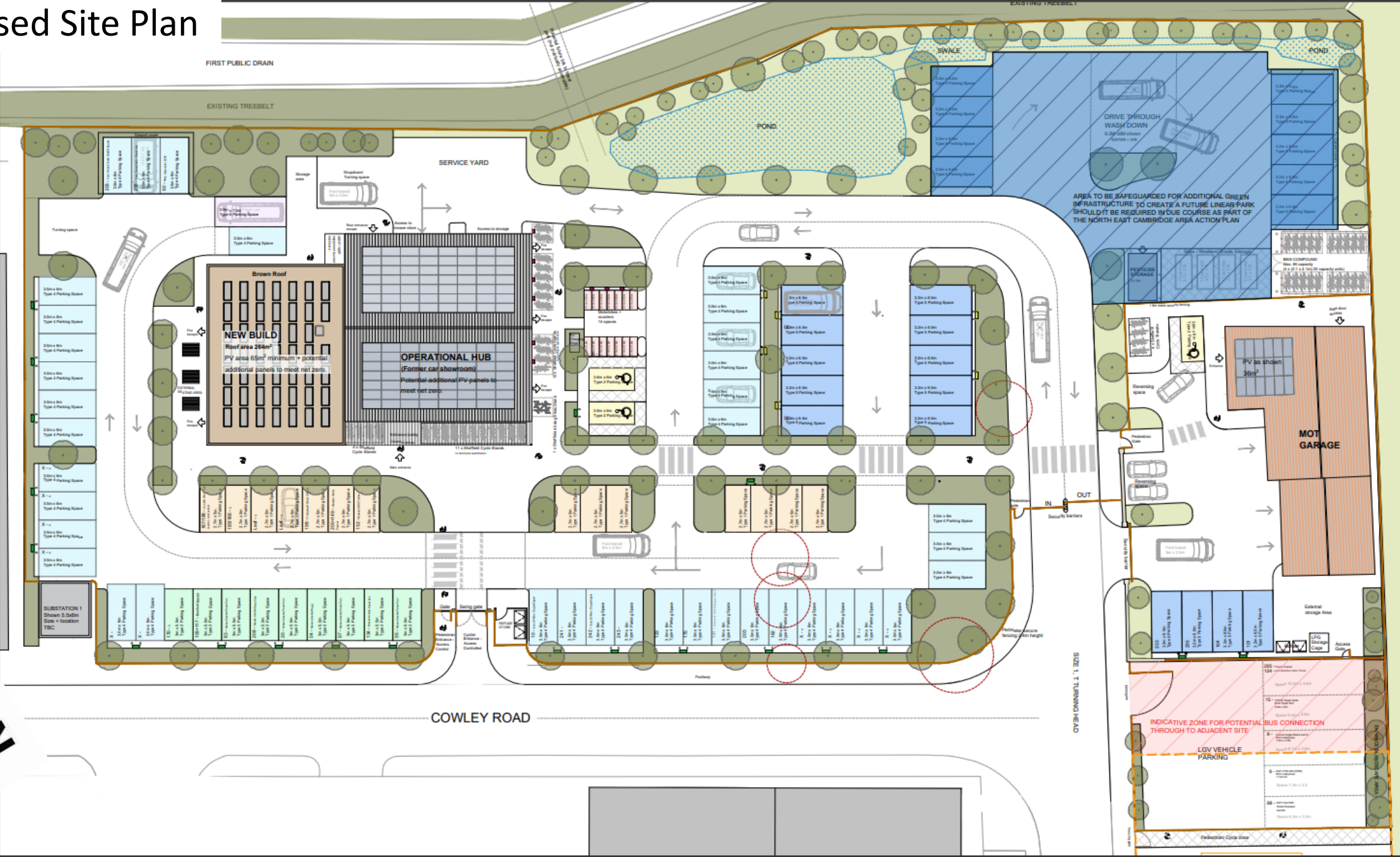
23/01878/FUL - 59 Cowley Road Cambridge Cambridgeshire CB4 0DN

Change of use and refurbishment of existing car showroom and new-build two-storey extension to create a new Operational Hub, reconfiguration and refurbishment of existing MOT garage to provide upgraded office and storage space, car and van parking, cycle parking, landscaping, and associated infrastructure.

Proposed
Wider Site Plan



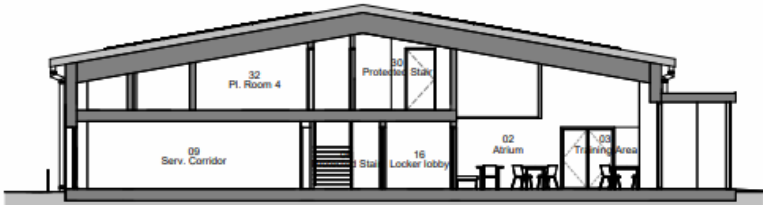
Proposed Site Plan



Proposed Hub Elevations



Section 1
1 : 100



Section 2
1 : 100



3 -South-East Elevation
1 : 100

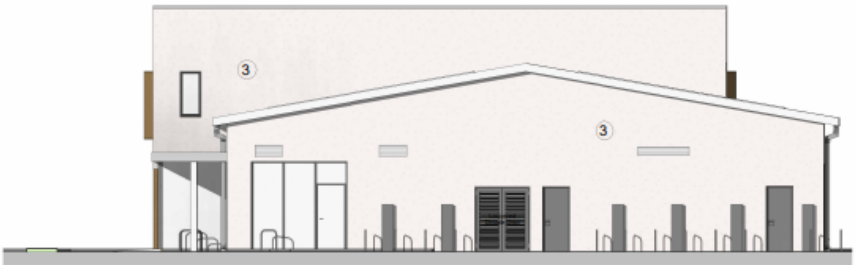


4 -South-West Elevation
1 : 100

- MATERIALS:
- 1 Timber cladding (vertical slats)
 - 2 Brick plinth
 - 3 Render
 - 4 Aluminium windows with timber brise soleil
 - 5 Timber clad columns
 - 6 Profiled metal roof



5 -North-West Elevation
1 : 100



6 -North-East Elevation
1 : 100

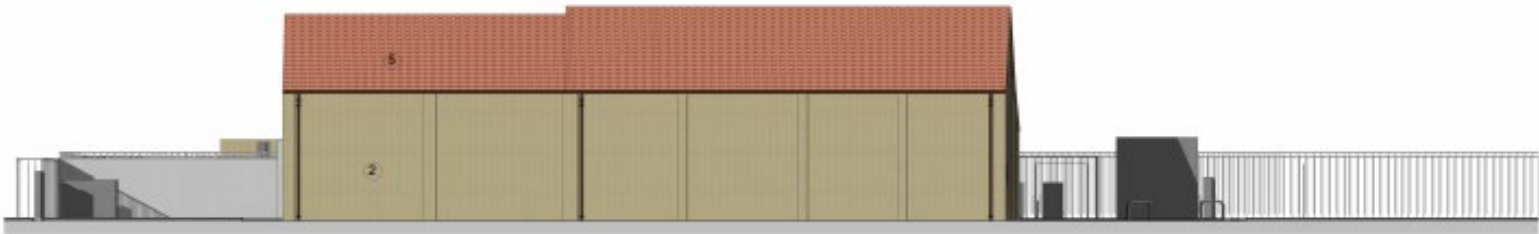
Proposed Garage Elevations



MOT Garage South Elevation
1 : 100



MOT Garage East Elevation
1 : 100



MOT Garage North Elevation
1 : 100



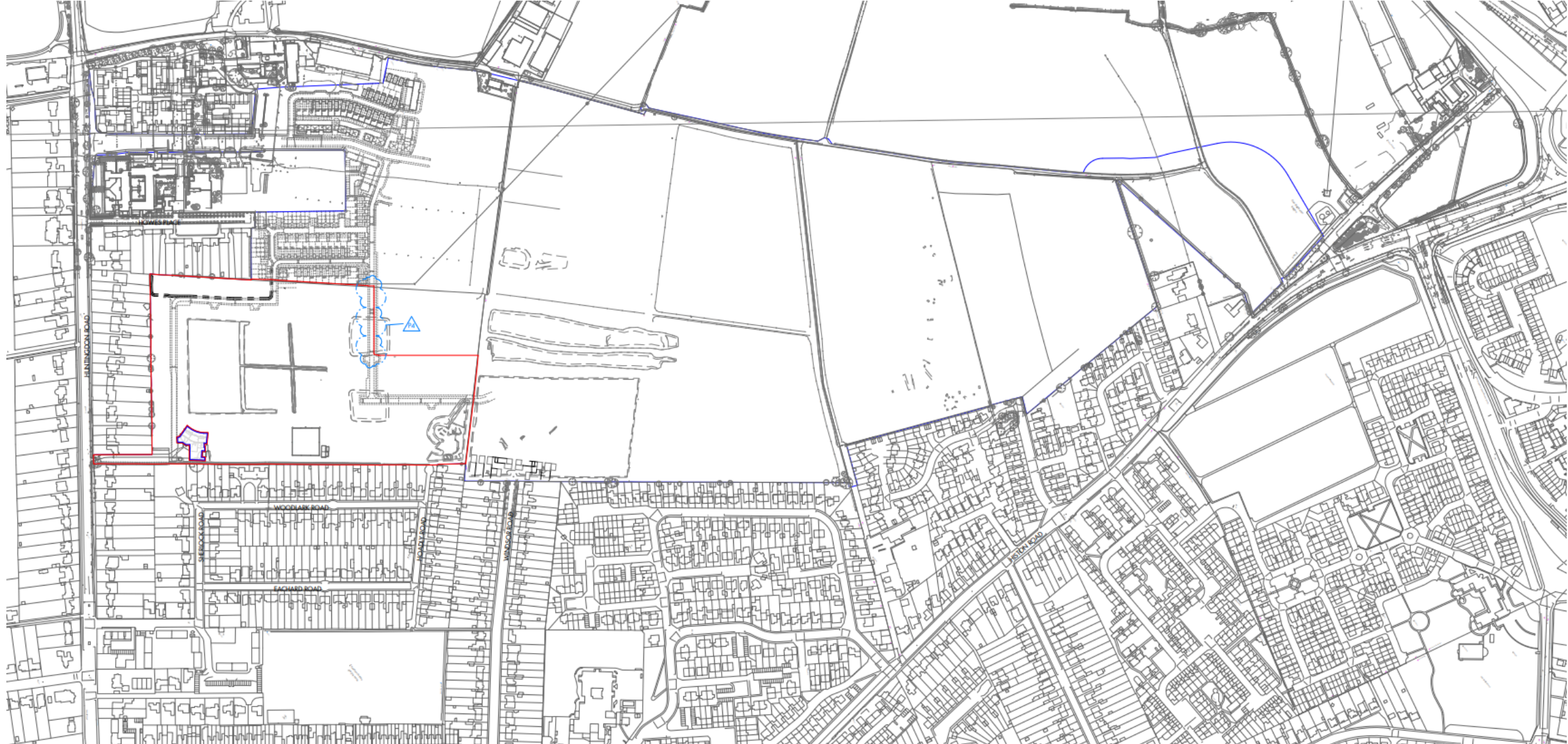
MOT Garage West Elevation
1 : 100

- MATERIALS:**
- ① Clay Roof Tiles as existing
 - ② Yellow Brick as existing
 - ③ Timber Framed Windows as existing
 - ④ Timber Framed Glazed Door
 - ⑤ Potential PV panels location to meet net zero

07/0003/COND51A, 07/0003/COND52E & 907/0003/COND53 - Land Between Huntingdon Road And Histon Road Cambridge

- 07/0003/COND51A - Submission of details required by condition 51 (Construction Environmental Management Plan) for Darwin Green One of outline permission 07/0003/OUT**
- 07/0003/COND52E - Submission of details required by condition 52 (Construction Method Statement) Darwin Green One BDW2 of outline permission 07/0003/OUT**
- 07/0003/COND53 - Submission of details required by condition 53 (Construction) for Darwin Green One BDW2 of outline permission 07/0003/OUT**

Location Plan – parcel BDW2



CEMP – Vehicle Routes for Major Deliveries



BDW2 – Phases of Demolition



Overview of scope

Types of structure to be demolished:

1. Slab and footings only.
2. Partially built structures.
3. Full structures.

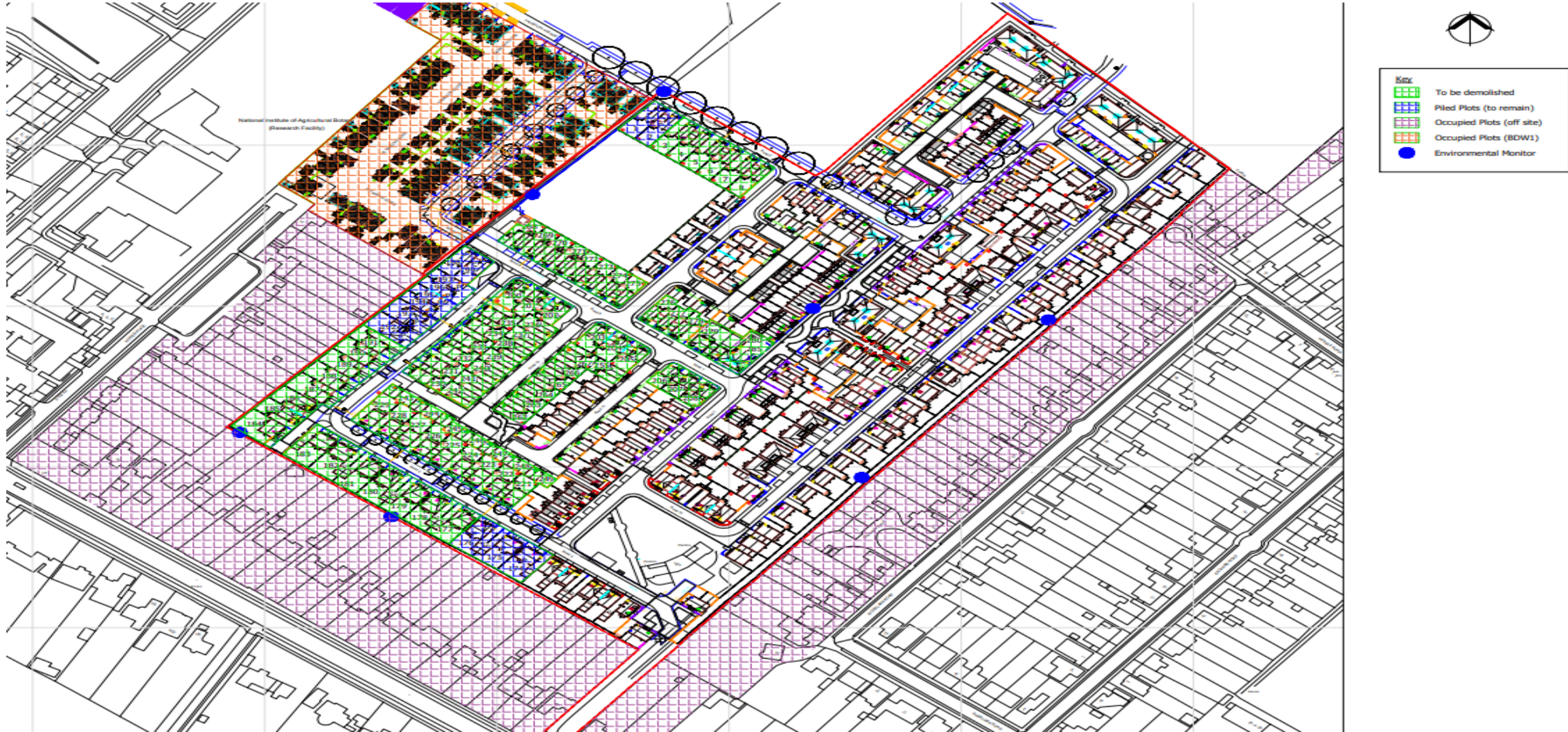
Scope

1. Area set up.
2. Isolation, backfill and protection of services by BDW.
3. Soft strip (if required).
4. Undertake dismantling of structure (if required).
5. Undertake slab and footings removal.

All debris will be cleared progressively. Either being transported off site or to the crushing area.

6. BDW to sign off works by completion of area.

BDW2 Demolition Plan



BDW2 – Environmental Monitor locations



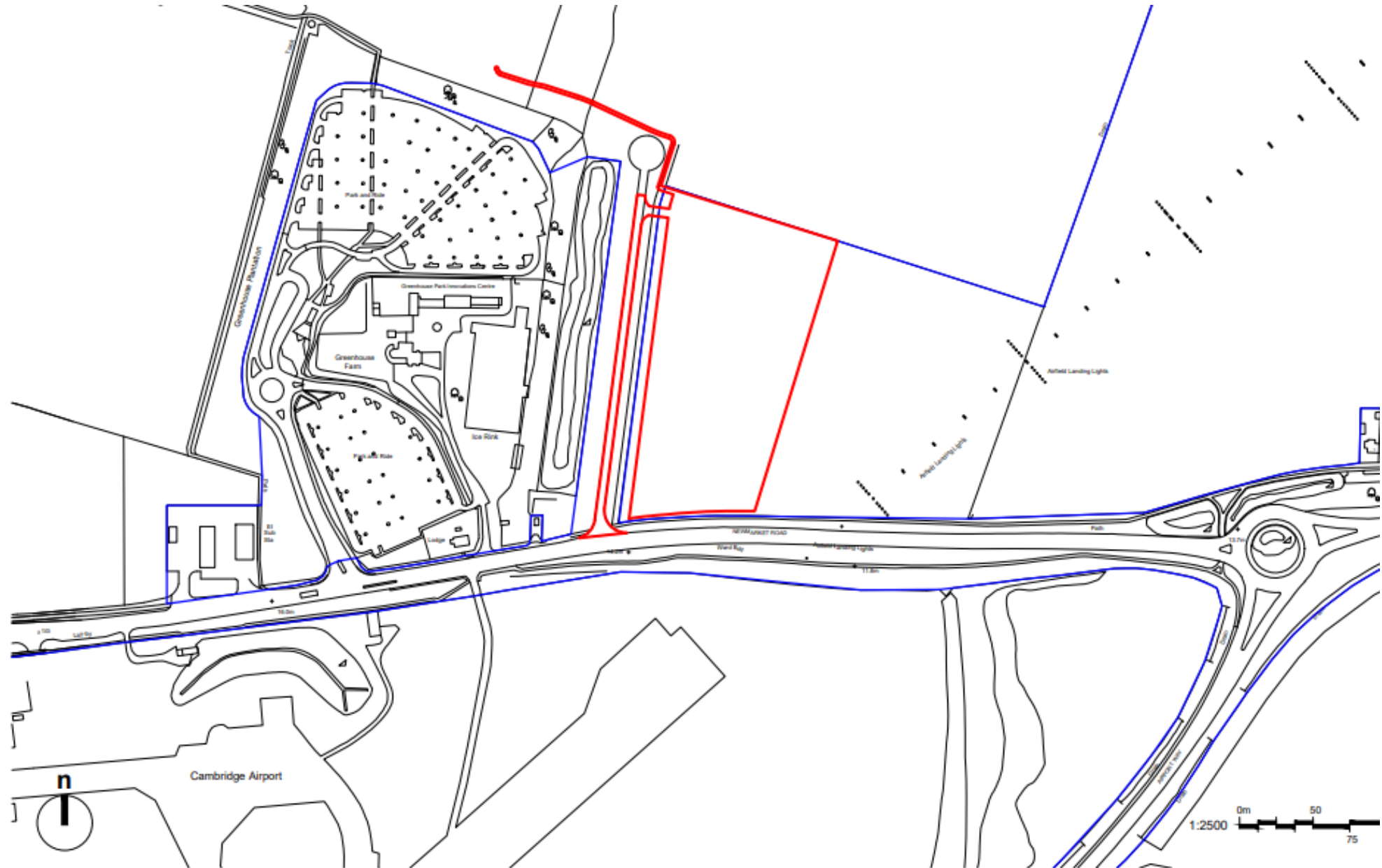
Loading Zone on Arial View

Noise, Dust and Vibration EnvironmentalMonitors (7Nr)

23/03273/FUL- Land East Of Park And Ride Newmarket Road, Teversham, Cambridgeshire

Construction of a temporary replacement car storage compound and pre-delivery inspection building with associated access, boundary treatment, lighting and landscape

Site Location Plan



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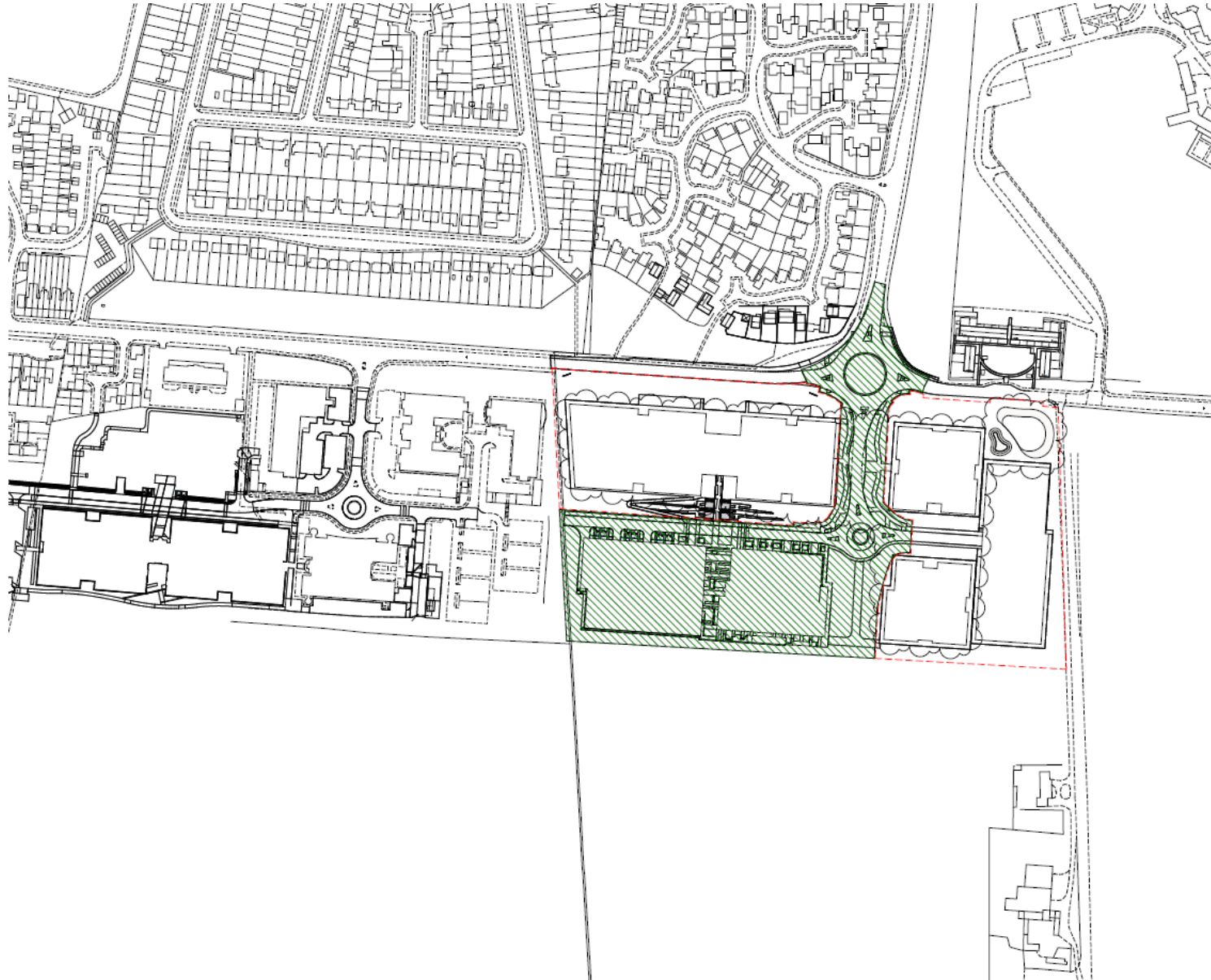
The architectural drawings include:

- ELEVATION 01:** A long, low profile of the building with a flat roof and a series of vertical elements. Labels include: "Glass curtain walling with PPG aluminium windows and doors", "Rooflight", "Prefabricated concrete roof slabs - natural grey", and "Roof-hay openings".
- ELEVATION 02:** A side elevation showing a series of vertical elements and a flat roof. Labels include: "Prefabricated concrete roof slabs - black", "Glass curtain walling", and "Prefabricated shutter door".
- ELEVATION 03:** A side elevation showing a series of vertical elements and a flat roof. Labels include: "Prefabricated concrete roof slabs - black", "Prefabricated concrete glass", "Prefabricated self-mounted light", and "Rooflight".
- ELEVATION 04:** A side elevation showing a series of vertical elements and a flat roof. Labels include: "Rooflight" and "PPG curtain wall and door".
- GROUND FLOOR PLAN:** A plan view showing the layout of the building. Labels include: "Rooflight", "Prefabricated concrete roof slabs - natural grey", and "Prefabricated shutter door".

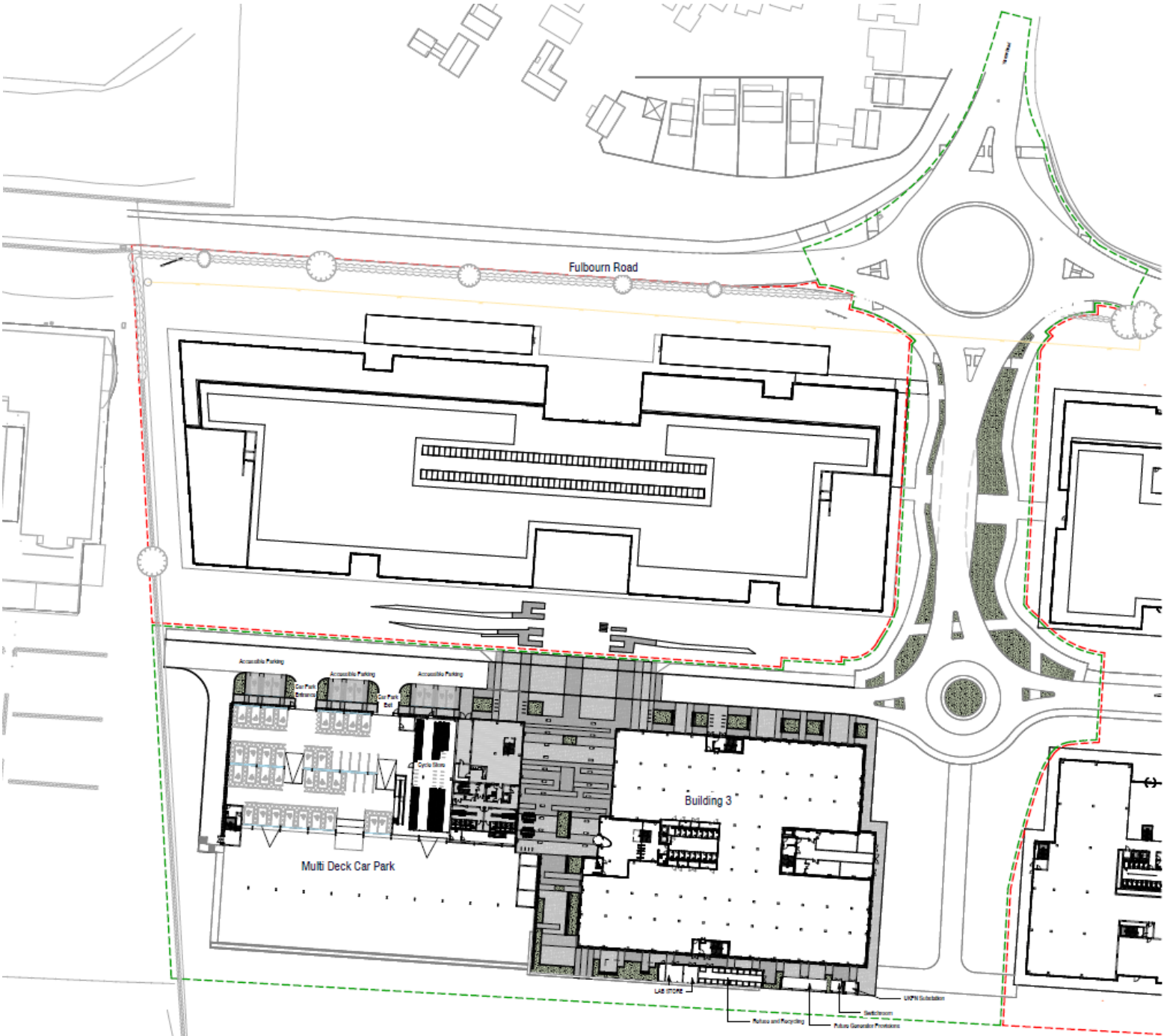
23/03182/S73 – Technology Park Fulbourn Road Cambridge Cambridgeshire

S73 to vary conditions 16 (Approved plans), 64 (Cycle parking) and 65 (Car parking) of outline planning permission 21/00772/OUT (A hybrid planning application for a total of 56,473sqm of commercial floorspace for Use Classes E(g) i (offices), ii (research and development), ii (light industrial) and B8 (storage and distribution - limited to data centres) uses. Comprising a) an Outline Application with all matters reserved (except for access) for the development of up to 44,671 sqm of floorspace, with associated access, structural landscaping, car and cycle parking and associated infrastructure works, b) a Full Application for the first Phase comprising the main access, one commercial building, a multi-decked car and cycle park and associated landscaping and infrastructure works, and c) a Full Application for the details of initial enabling works comprising site wide earth works and drainage)

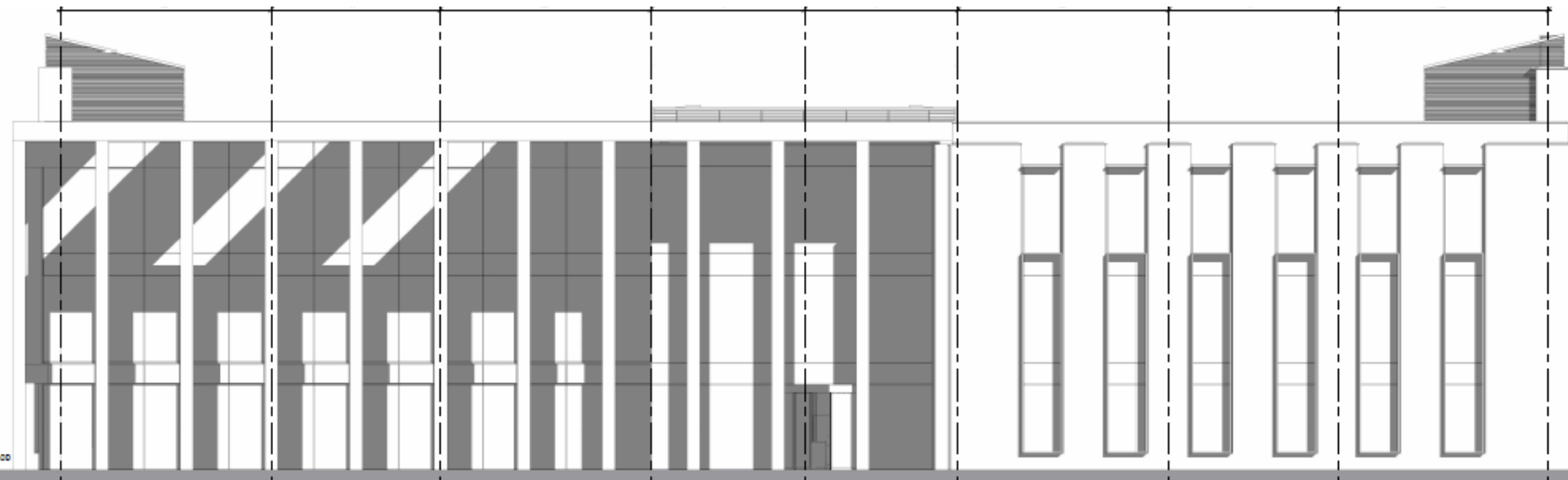
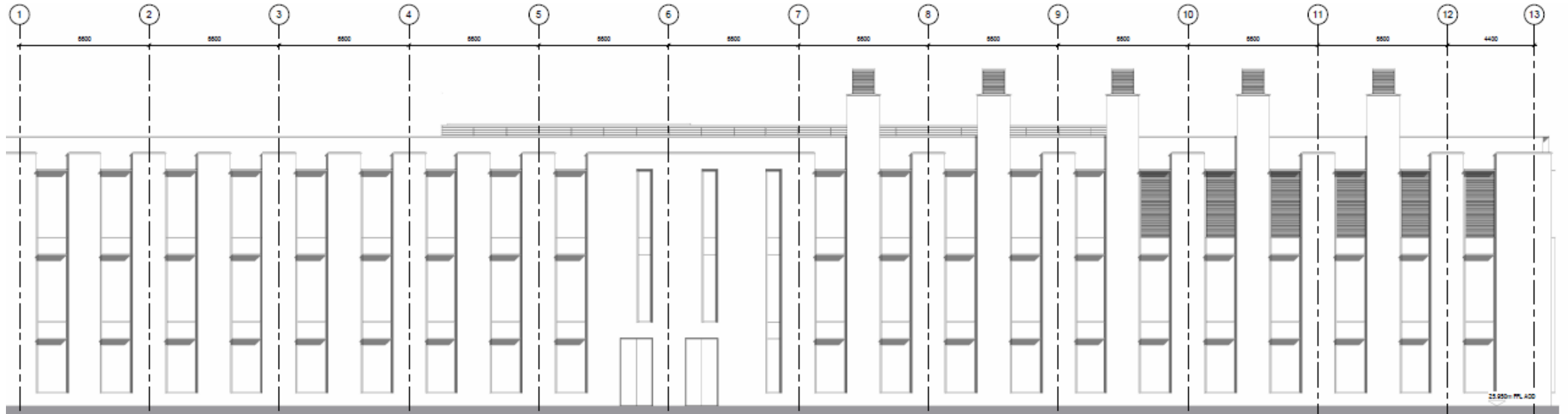
Site location plan



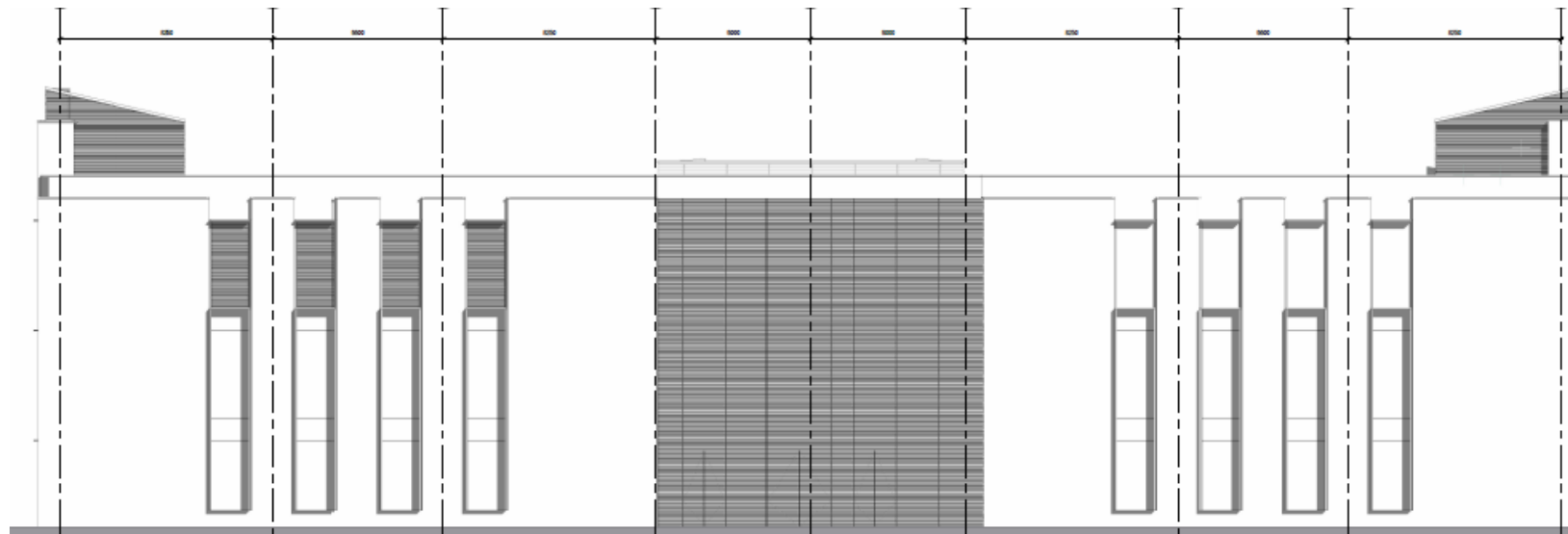
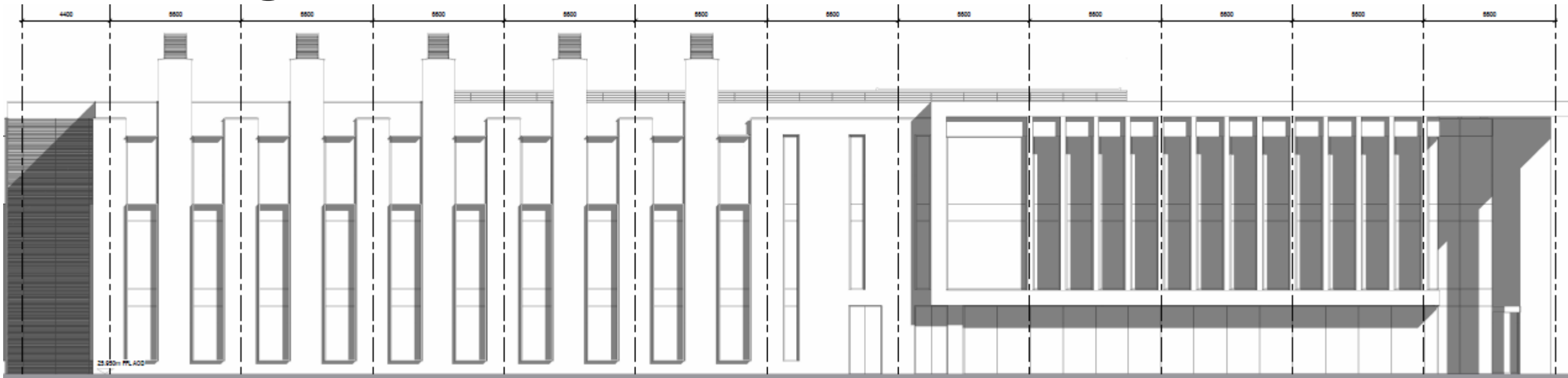
Site plan



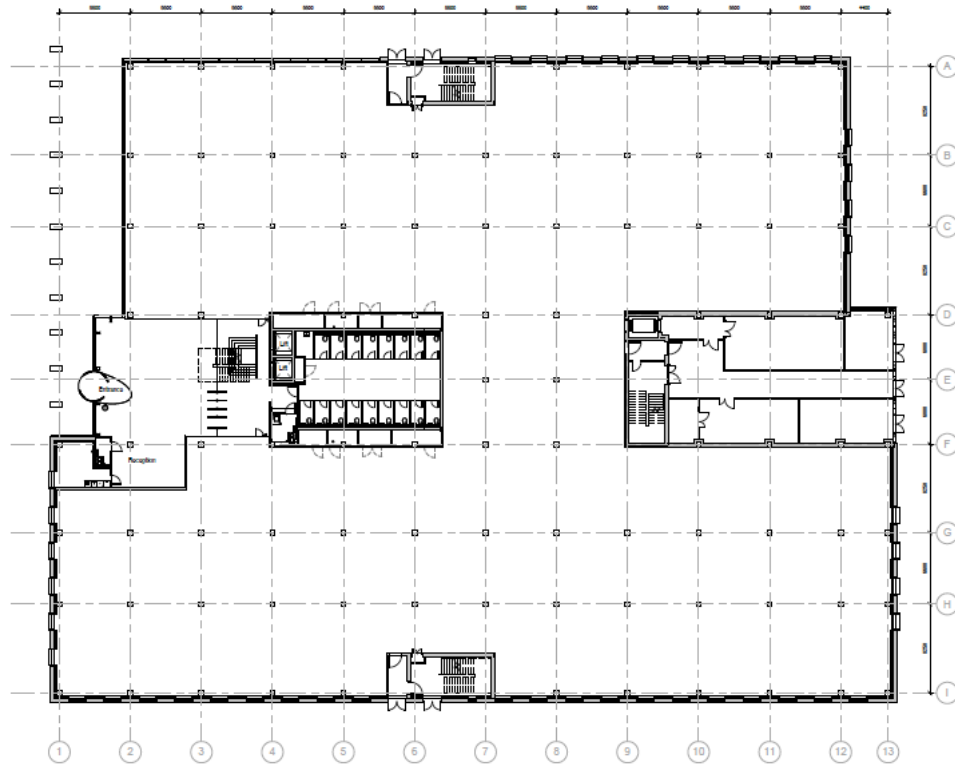
Building 3 - South and West elevations



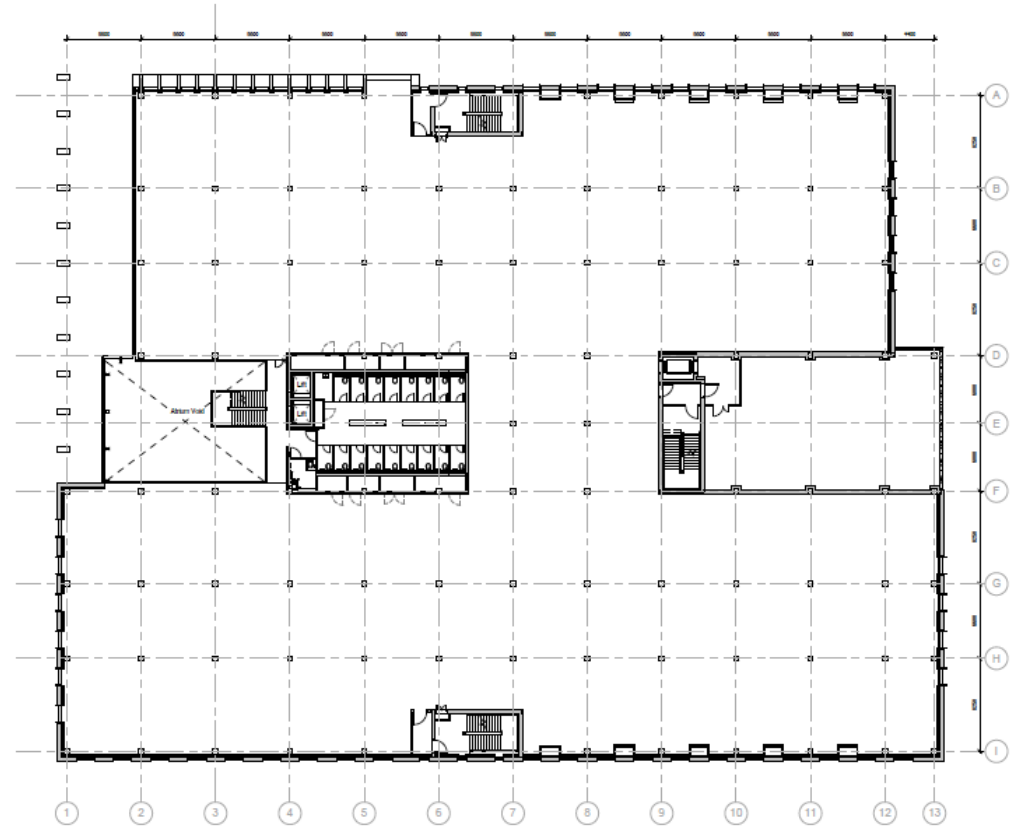
Building 3 -North and East elevations



Building 3 - Typical floorplans

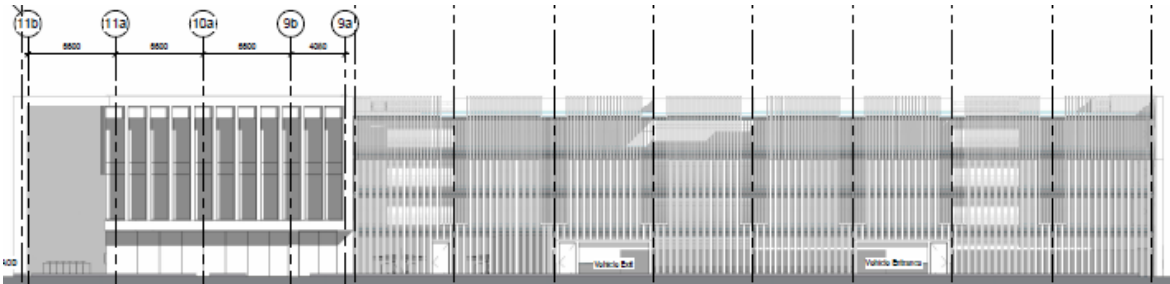


Ground floor plan

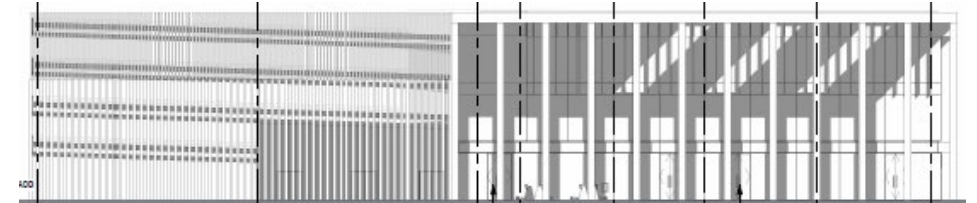


First floor plan

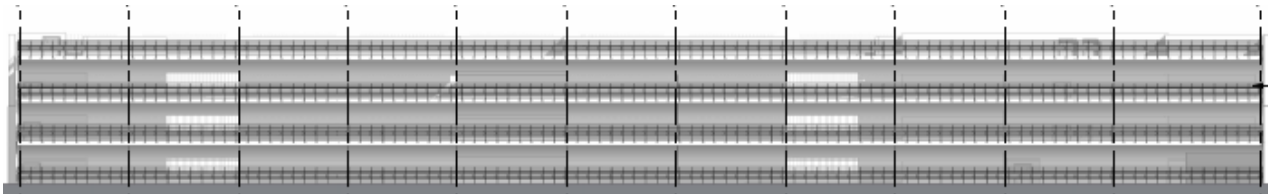
Multi-storey car park elevations



North elevation



East elevation

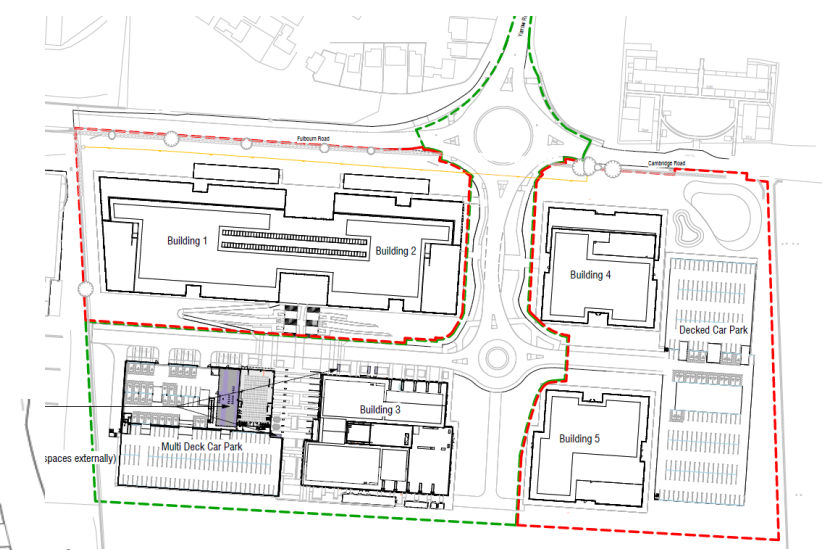
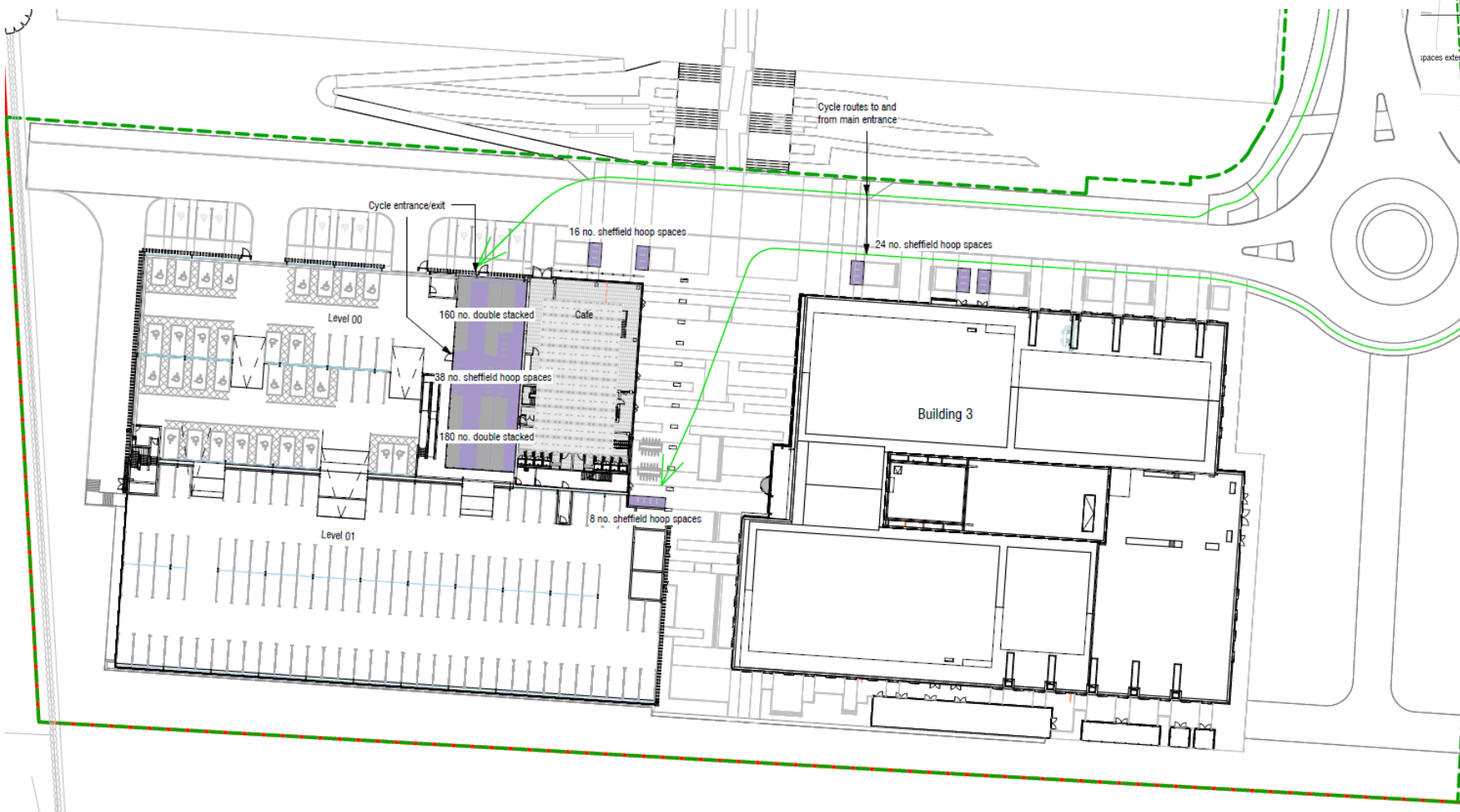


South elevation



West elevation

Cycle parking plan



Car Parking plan

